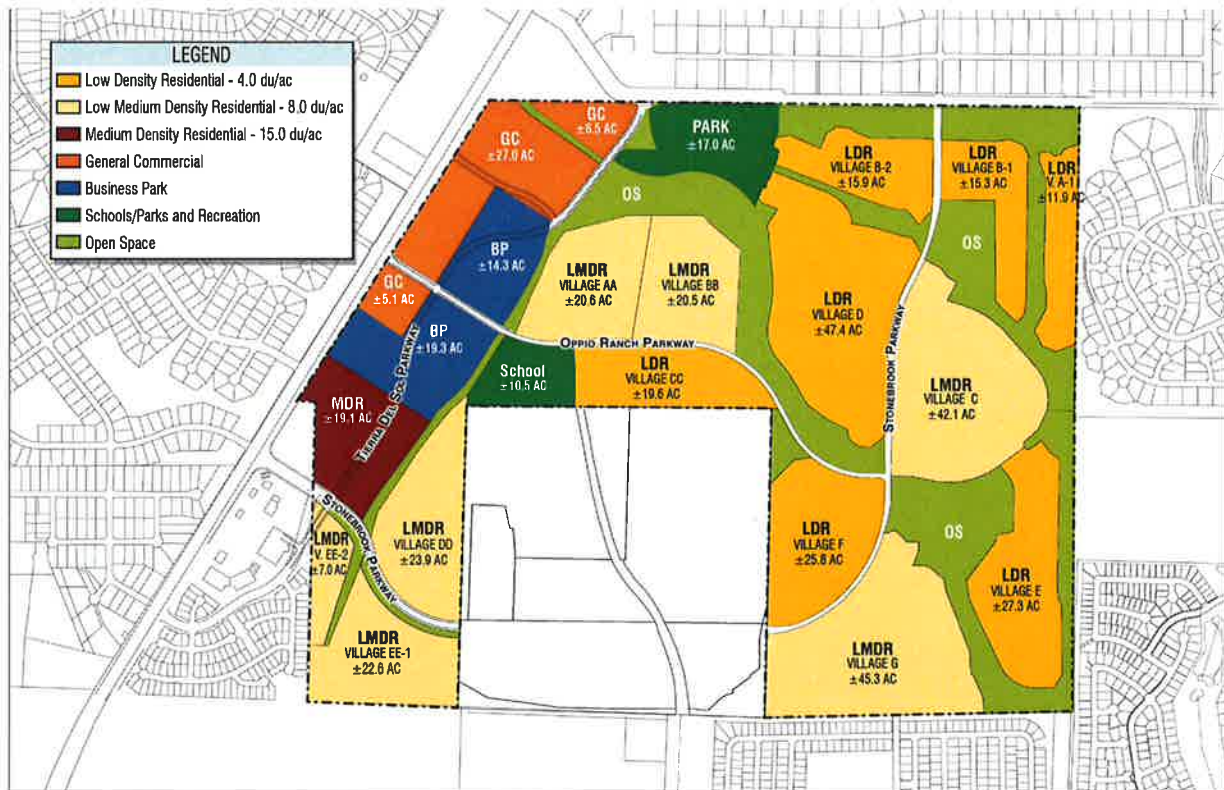


Stonebrook

Design Standards and Regulations

Sparks, Nevada



Prepared for:
City of Sparks

Approved by City Council _____

December 1, 2005

Amended November 2018

Public Hearing DRAFT

CHAPTER 1: PROJECT OVERVIEW

1.1 Introduction

1.1.1 Master Plan Statement:

The Master Planned Community of Stonebrook offers the region a thoughtfully conceived blend of residential villages and housing opportunities, complemented by a balanced mix of commercial, retail and business elements. These components surround open spaces, interconnected with trails and pathways, ultimately creating a cohesive, family-oriented community. This Design Handbook establishes project standards ensuring a quality Master Planned Community.

1.1.2 Location

Located at the Southeast corner of Pyramid Highway and La Posada, Stonebrook encompasses approximately 610 acres, centrally located in the Spanish Springs Valley (APN 528-030-05, 07,08,09,10 and 528-020-08). **Refer to Exhibit 1-1.** The Cimarron and Wingfield Springs Developments border the eastern boundary, and the Pioneer Meadows Development is immediately to the south.

1.1.3 Planned Development

Stonebrook is a Master Planned Community organized under ~~Title 20.18 of~~ the Sparks Municipal Code, thereby providing for maximum environmental choice for the citizens of the City of Sparks by encouraging flexibility and creativity of design and a greater diversity of building types, open space arrangement and other aspects of land planning all within the parameters of this Design Handbook.

Stonebrook will be designed in substantial conformance to the overall objectives and goals of the Regional ~~Master Plan and the Northern Sparks Sphere of Influence Plan, (NSSOI) adopted in October 1991 and as amended. (Refer to Exhibit 1-2.)~~ City of Sparks Comprehensive Plan. ~~Since the adoption of the Northern Sparks Sphere of Influence Plan, however, development trends and economic goals of the community in general have progressed to a level which aims toward more integrated land use design concepts.~~

~~As calculated under the NSSOI plan, the maximum number of residential units allowed in Stonebrook is 1,316 units. (Refer to Tables 1-1 and 1-2), with the recent Master Plan changes to encourage Emerging Employment Centers, an increase in density, intensity and housing options are included in the Stonebrook Development Plan to support this EEC. The Stonebrook Master Plan proposes 2135 units with the 819 unit increase only occurring in the Medium and High Density residential land use categories. (Refer to Tables 1-3 and 1-4.~~

Stonebrook Master Plan and centers on large open spaces, which employ parks, a Trail and Pathway system, and open spaces, all which meet or exceed the parameters established within the Sphere of Influence Plan City of Sparks Comprehensive Plan for these elements.

**Exhibit 1-1
Vicinity Map**

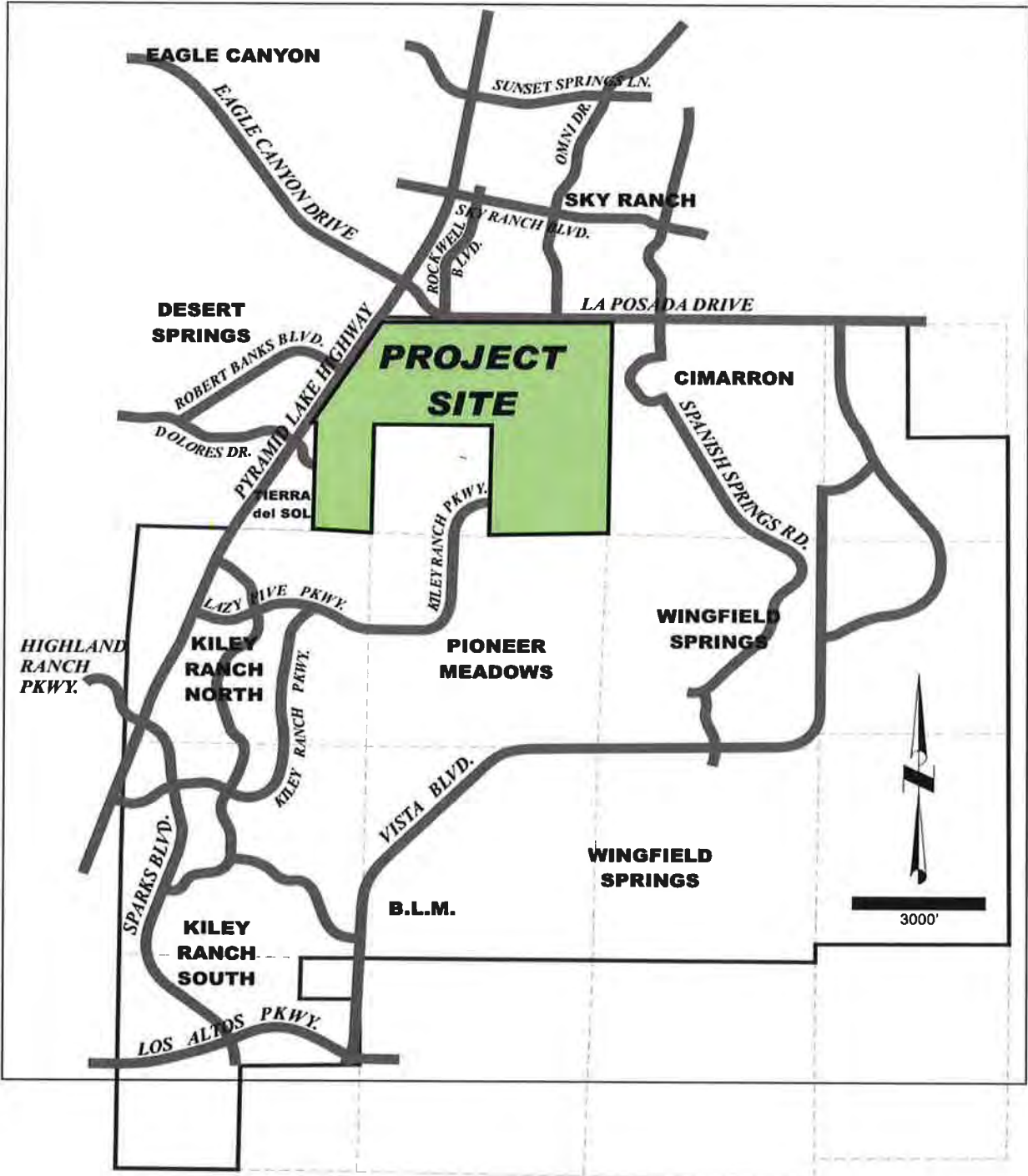


Table 1-1: Densities from Sphere of Influence Plan

Land Use	Acreage	Units
1-DU/AC	111.6	112
2-DU/AC	107.0	215
4-DU/AC	192.9	772
10-DU/AC	7.9	79
15-DU/AC	9.2	138
School/Park	20.2	N/A
GC	47.7	N/A
Open/Other	<u>113.5</u>	<u>N/A</u>
Totals	610.00	1,316

Table 1-2: General Land Use Summary from Sphere of Influence Plan

Land Use	Acres	Percentage
Residential		70.6%
EDR	111.6	
LDR	299.9	
LMDR	7.9	
MDR	9.2	
Gen. Comm.	47.7	6.4%
Open Space	113.5	19.7%
School/Park	<u>20.2</u>	<u>3.3%</u>
Totals	610.00	100%

Exhibit 1-2
Sphere of Influence



1.1.4 Stonebrook Goals and Master Plan Concept

Stonebrook Master Plan shall strive to achieve the following Goals:

- Create an Emerging Employment Center that provides a job/housing balance, creates a reverse commute opportunity and provides substantial economic development opportunity.
- Create a balanced, cohesive, family oriented, quality, mixed-use community compatible with surrounding development.
- Provide for flexibility and creativity of design of building types and open space arrangements within the parameters of these design standards.
- Unify overall project development through these design standards thereby creating a true sense of community.

Stonebrook offers a variety of housing opportunities within residential villages, with business park, general commercial, and retail elements, interconnected by a series of trails, and pathways situated within open-spaces thereby creating a balanced local relationship between working and living opportunities. Refer to Stonebrook Land Use Map **Exhibit 1-3**.

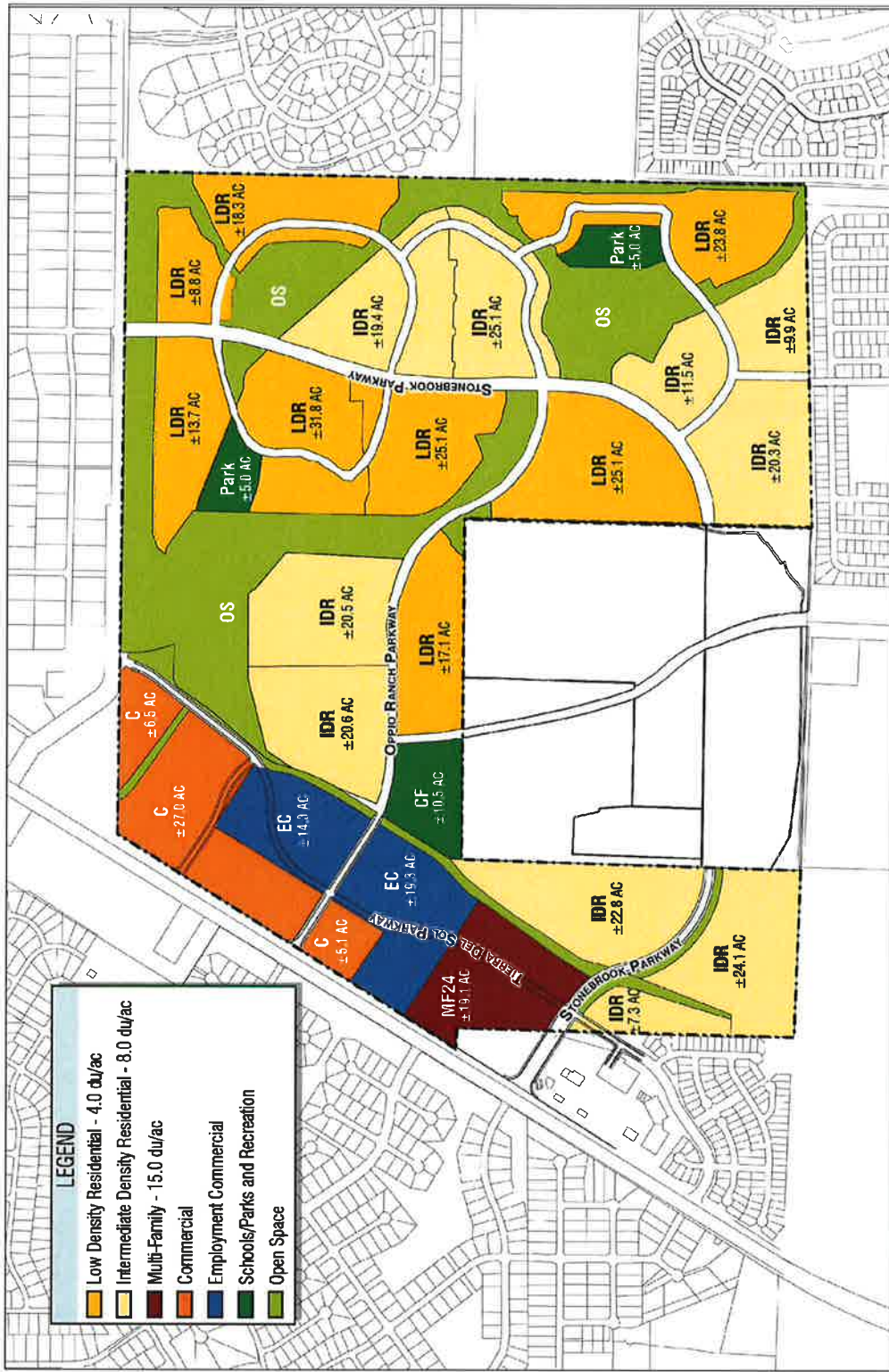
Table 1-3: Stonebrook General Comprehensive Plan Land Use Summary

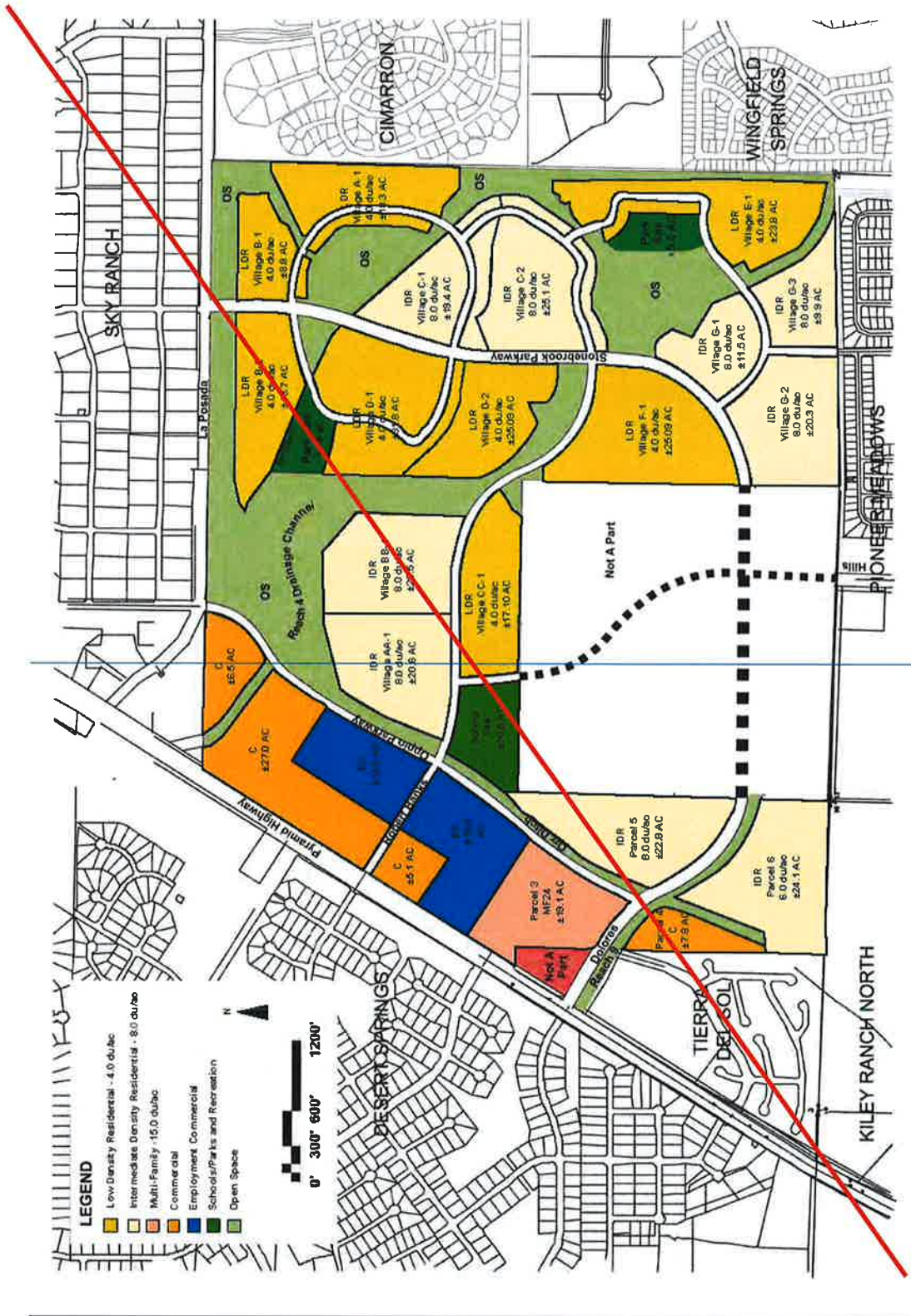
Land Use	Acres	Percentage
Residential	<u>328.8331.2</u>	<u>56.954.3%</u>
Business Park	<u>33.733.6</u>	<u>5.65%</u>
Commercial	<u>47.938.6</u>	<u>7.946.3%</u>
Open Space/Roads	<u>179.6186.2</u>	<u>27.130.5%</u>
Public Facility (School & Parks)	<u>20.020.4</u>	<u>2.53.3%</u>
Totals	610.0	100%

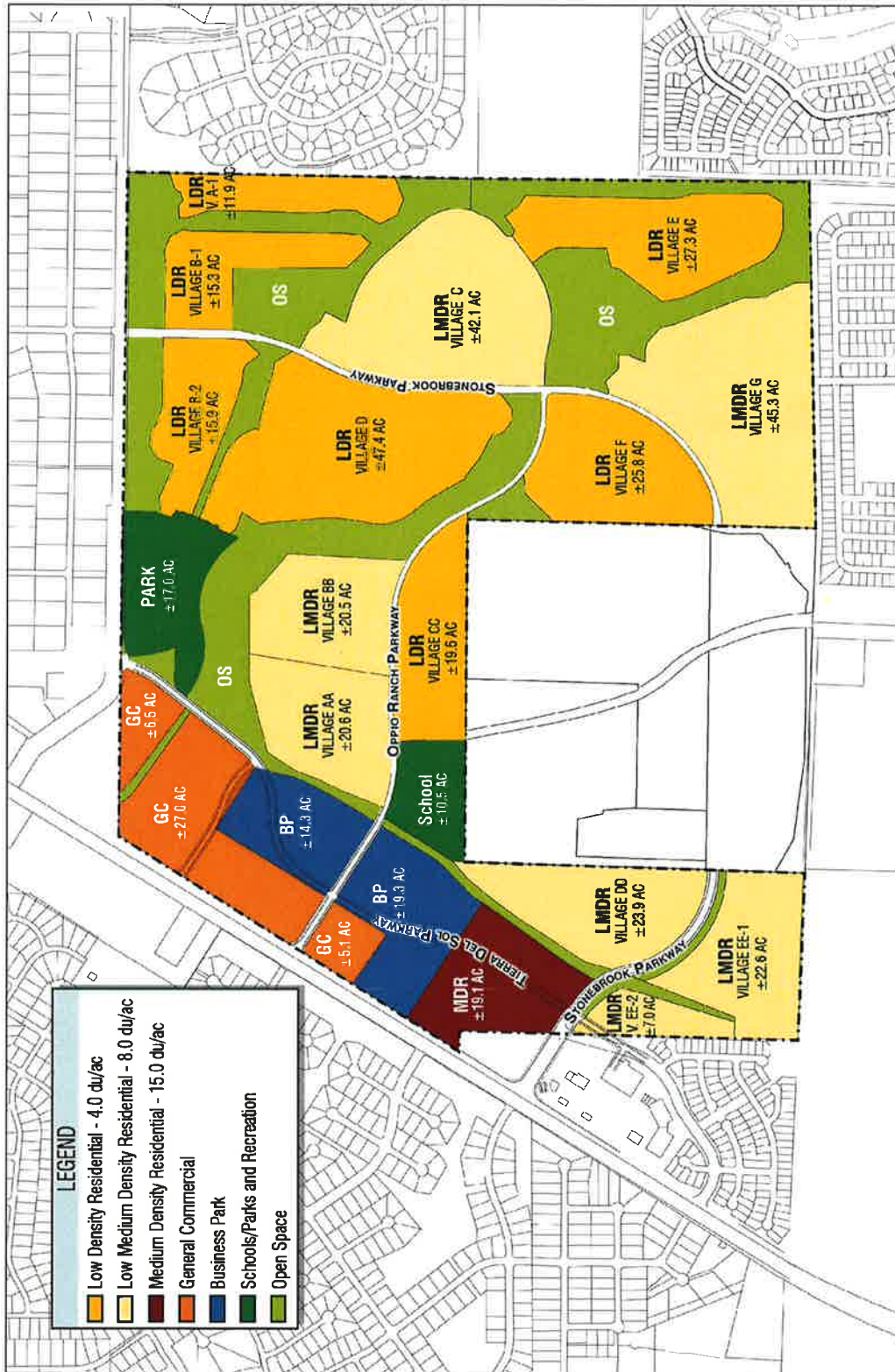
Table 1-4: Densities from Stonebrook Land Use Plan

Land Use	Acres	No. of Units/Lots	Units/Acre Max. Allowed Density
Residential			
LDR	<u>138.6163.8</u>	<u>620656</u>	4.0
LMDR	<u>176.0182.0</u>	<u>13151192</u>	<u>8.010.0</u>
MDR	<u>14.219.1</u>	<u>200287</u>	<u>15.024.0</u>
Business Park (BP)	<u>33.733.6</u>	-	-
Gen. Commercial (GC)	<u>47.938.6</u>	-	-
Open Space (OS) & Roads	<u>179.6186.2</u>	-	-
School (PF)	<u>10.010.2</u>	-	-
Park (PF)	<u>10.022.4</u>	-	-
Totals	610.00	2135	3.51

Street ROW acreages are included in adjacent land use designations.







1.2 Project Site Analysis

1.2.1 Topography

At an elevation of 4,485 feet, Stonebrook's near flat topography is characterized by a Northwest to Southeast slope of less than or equal to 1 percent thereby eliminating any slope constraints on the development.

1.2.2 Flood Control and Storm Drainage Systems

The Flood Control Master Plan for Stonebrook has accounted for offsite flows generated upstream being contributed to its system with the implementation of the North Spanish Springs detention facility. (See also **Table 1-6** Phasing Schedule and **Exhibit 1-7** Phasing Plan.) As such, the flood control and storm systems within Stonebrook have been designed to safely and efficiently accommodate and convey both on and offsite flows through the Development to down stream facilities. These flows are collected and conveyed via a channel network within the open space corridors of Stonebrook. Additionally, the channel system within these dual functioning open spaces provides a detention component applicable to the development of the individual villages of Stonebrook and shall be maintained by the Stonebrook Maintenance Association (SMA) as established within Stonebrook Covenants, Conditions, and Restrictions and Reservation of Easements (CC&R's). Reach 4 and Reach 9 as identified in the NSSOI will be constructed as part of this project.

In addition to the main channels, the Stonebrook Drainage Masterplan contemplates the use of a low flow channel to concentrate nuisance water and low flows within the main channel. Due to the very flat terrain and shallow outfall connection, the low flow channel will utilize a drainage pump station to lift low flows from Reach 4 to the outfall at Reach 5 in the southeast corner of the project. The low flow channel and drainage pump station will allow summer and nuisance flows to be more easily conveyed which will help reduce slow moving, stagnant water that can lead to vector control issues.

All storm drainage shall conform to City of Sparks Hydrologic Criteria & Drainage Design Manuals, Spanish Springs Valley Master Flood Control Plan, Washoe County Health Department standards, and shall be prepared to the approval of the Public Works Director.

1.2.3 Utilities

Electric and Natural Gas:

~~Sierra Pacific Power Co~~^{NV Energy mpany (SPPCO)} shall provide electric and natural gas service to Stonebrook from existing transmission facilities located in Pyramid Highway and La Posada Drive.

These various service facilities shall be extended underground within the roadway right-of-ways from both Pyramid Highway and La Posada to serve each phase of development as they occur. See Phasing Section 1.4 and Phasing Plan, **Exhibit 1-7**.

Water Service:

The Truckee Meadows Regional Water Authority shall provide water service. Refer to NSSOI Infrastructure Service Area #1 (IFSA #1) Fair Share Infrastructure Agreement. Current water demand estimates for the Stonebrook project depict an approximate demand of 1000 Acre Feet. This water shall be dedicated at the time of Final Map submittal to support each phase of proposed development, ~~from the approximate 850 Acre Feet of water currently appurtenant to the Stonebrook property. An estimated water rights allocation is provided in Table 1-5. Reclaimed water may be used to meet the irrigation demand in open space areas with a projected demand of 150-acre feet.~~

Table 1-5: Estimated Water Rights Allocation Summary

<u>Land Use</u>	<u>U</u>	<u>A</u>
<u>Single Family Residential</u>	<u>6</u>	<u>2</u>
<u>Higher density attached (single Family) and Multi Family Residential</u>	<u>1</u>	<u>4</u>
<u>Non Residential</u>	<u>5</u>	<u>2</u>
<u>Open Space</u>		<u>1</u>
<u>Total</u>	<u>2</u>	<u>1</u>

Water service facilities shall be extended underground within the roadway right-of-ways from both Pyramid Highway and La Posada to serve each phase of development as they occur. See Phasing Plan, **Exhibit 1-7** and Section 1.4.5.

1.2.4 Sanitary Sewer

Sanitary Sewer treatment shall be provided by the Truckee Meadows Wastewater Treatment Facility and transported via both the existing Northeast trunk main located along the project's Eastern boundary and the Northwest trunk main located in the west central portion of the project and extending to La Posada and beyond to the west. An analysis of sewerage flows is provided in the Sanitary Sewer Report for Stonebrook. Refer to NSSOI Fair Share Infrastructure Agreement.

The Stonebrook sewer system splits into two general shed areas: east and west. The east area is comprised of residential uses and flows to the southwest corner of the project. A sewer lift station will be used to convey sanitary sewer flows to one of the two existing interceptors. With the completion of the Northwest Interceptor, a significant portion of the flow previously directed to the Northeast Interceptor has been re-routed to the new Northwest Interceptor. This has created capacity in the Northeast Interceptor that may be used to serve a portion of Stonebrook. The final location of the force main connection will be determined in conjunction with the City of Sparks based upon the best routing through the existing downstream system.

The west area encompasses residential, commercial and public land uses and it will connect directly to the existing Northwest Interceptor via gravity sewer pipes.

Sanitary Sewer line extensions shall be extended from the trunk mains, underground within the roadway right-of-ways, to serve each phase of development as they occur. See Phasing Plan, **Exhibit 1-7** and Section 1.4.5.

1.3. Public Facilities

1.3.1 Fire

Any proposed traffic calming devices such as speed bumps/humps, narrow roads, etc. shall be approved by the Fire Chief and ~~Public Works Director~~City Engineer.

~~As to~~The Stonebrook development is currently outside of the 6-minute response area for the City of Sparks Fire Station #5. Residential fire sprinklers will not be required for homes within Stonebrook development as long as the developer agrees to the alternative protection measures below: ~~the individual home builders shall install NFPA Type 13D fire sprinkler systems within every residence and NFPA 13 fire sprinkler systems shall be installed in every commercial occupancy unless other arrangements are made to the satisfaction of the Fire Chief and City Council. Should the City of Sparks approve a cooperative agreement with the Reno Fire Department, or construct a new station, which provides a response time of 6 minutes or less~~

1) Radio and paging system installed in Truckee Meadows Fire Protection District Station 17 to match Sparks Fire Department systems:

- a. 800 MHZ Radio EDACS M7100 Desktop Control Station
- b. 800 MHZ Base Station Antenna System, including installation
- c. "First In" Master Control Unit for paging, UPS and Single Station Alerting Software

2) Emergency access to and through the Development from the south and the north:

- a. Unobstructed all-weather access road from La Posada Drive to the Pioneer Meadows Development shall be constructed to the satisfaction of the Fire Chief. The all-weather fire access road shall be maintained to a 90% compaction until such time as the road is permanently paved.

a.b. Click-2-Enter Gate Control System, or equivalent, for the fire access road shall be installed prior to having combustible materials on-site. Click-2-Enter gates, or equivalent, shall be installed at both ends and the fire access road to allow emergency response from both directions.

1.3.2 Schools

The Vangorder Elementary and Spanish Springs High School will provide initial service to those residents of Stonebrook. Intermediate classes are provided by either Mendive Middle School, Sparks Middle School or Spanish Springs Middle School.

In anticipation of a need for additional elementary school facilities, the developers of Stonebrook have reserved approximately 10 acres within the project for such a facility.

The Washoe County School District shall have a period of 5 years from the date of approval of this Design Handbook to declare its intention to acquire this school site. In the event the Washoe County School District passes on its option to acquire this site, and determines this site is unnecessary or is redundant with adjoining sites, this parcel shall revert to a Residential Land Use designation. Upon this occurrence, the developer will have the option of either re-apportioning remaining density on the balance of the undeveloped approved 2135 Residential Units.

1.3.3 Parks and Open Space

~~Two One Community Neighborhood~~ parks will be offered for dedication by separate agreement, prior to the recordation of the last Final Map within the phase (currently Phase III) in which the Park is sited (see Phasing, Section 1.4). Upon acceptance of the dedication, City of Sparks shall assume all responsibility for on going maintenance.

The final location of this neighborhood park and facilities shall be mutually determined by the developer and the Director of Parks and Recreation for the City of Sparks. ~~These~~ This community neighborhood parks shall be financed through the collection of Residential Construction Taxes with a Residential Construction Tax Agreement between the City of Sparks and developer which will establish the threshold for triggering construction of the park sites as provided in the Residential Construction Tax Agreement, including reimbursement to the developer for the land dedication and/or construction of these facilities.

Open Space areas depicted within Stonebrook perform a dual function by providing for trail/pathways and flood control facilities. In general, improvements within these spaces shall consist of a large expansive areas reseeded with native grasses, complemented with accent rock out-croppings, ornamental grasses, tree masses mixed with shrubs and perennials and benches interspersed along the trail and pathway system. ~~Benches along the trail and pathway system shall be placed to the satisfaction of the Director of Parks and Recreation of the City of Sparks. See Exhibit 10-4 in Chapter 10 of this Handbook.~~

The trail system situated within the Open Space shall be sited to the mutual approval of the developer and the Director of Parks and Recreation for the City of Sparks. See Trail and Pathway System **Exhibit 1-5**. The developer shall dedicate a right-of-way along the full extent of the regional trail within Stonebrook. The regional trail will be owned by the City of Sparks and will be public property. Vector control shall utilize all access roads to the Open Spaces as established by the Stonebrook Maintenance Association, which shall be created through the Stonebrook Homeowners Association CC & R's.

Open Space Improvements will be constructed concurrent by the master developer with the Improvements within the phase of development in which it occurs. Regional trails and development pathways within the phase of development shall also commence construction with the adjacent development. Regional trails, the pedestrian bridge connection and/or development pathways within the non-residential land uses shall commence construction upon the issuance of the initial building permit within the phase it occurs. See **Phasing Section 1.4** and **Exhibit 1-7**. The developer shall be entitled to receive credit for the dedication of right-of-way and construction of those facilities identified as Regional trails per the ~~Northern Sparks Sphere of Influence Plan~~ IFSA #1 within the City of Sparks Master Plan.

Maintenance of the Open Space Improvements shall be performed by the Stonebrook Maintenance Association, which shall be created through the Stonebrook Homeowners Association CC & R's.

Exhibit 1- 5
Trail and Pathway System

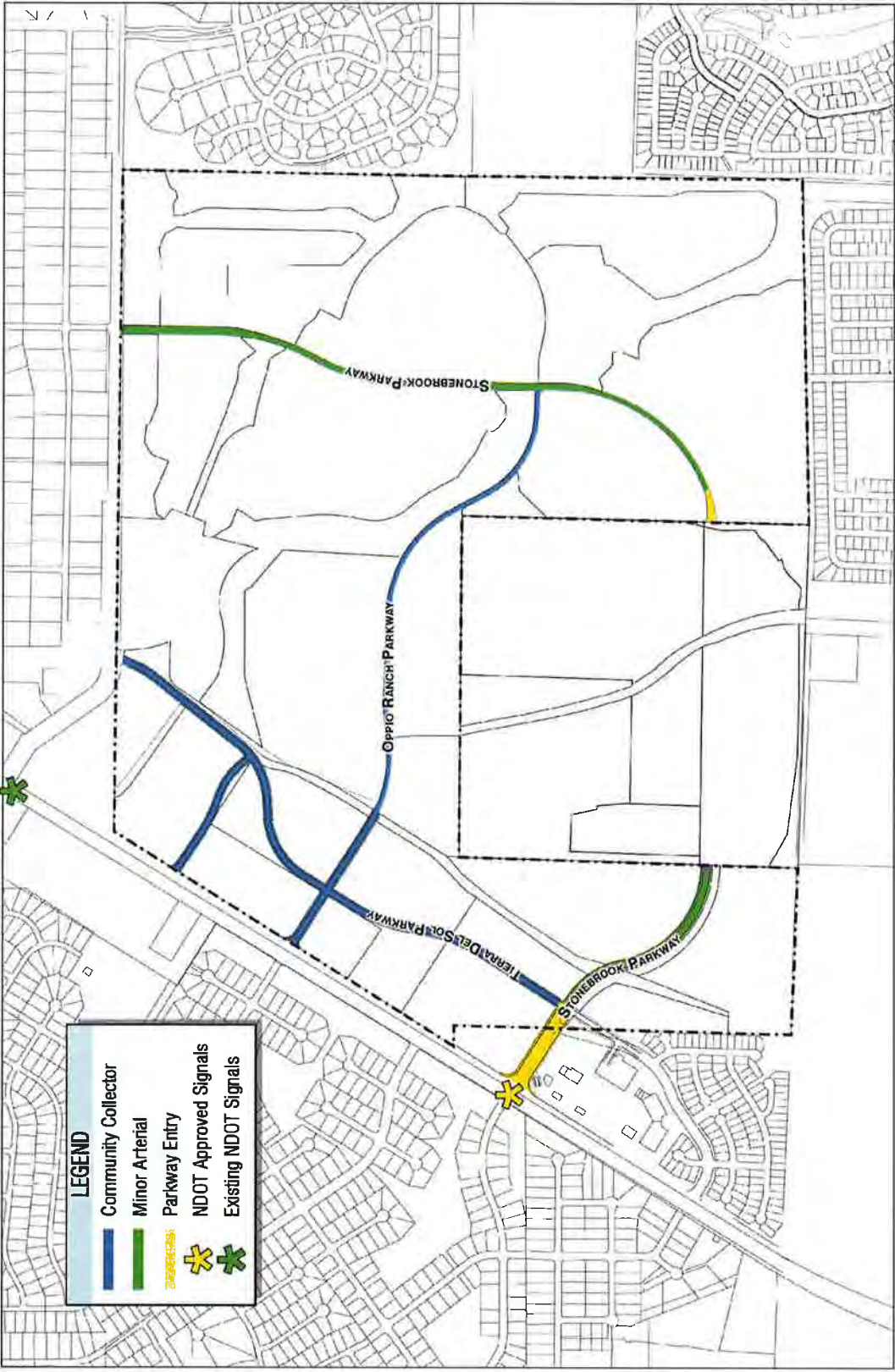


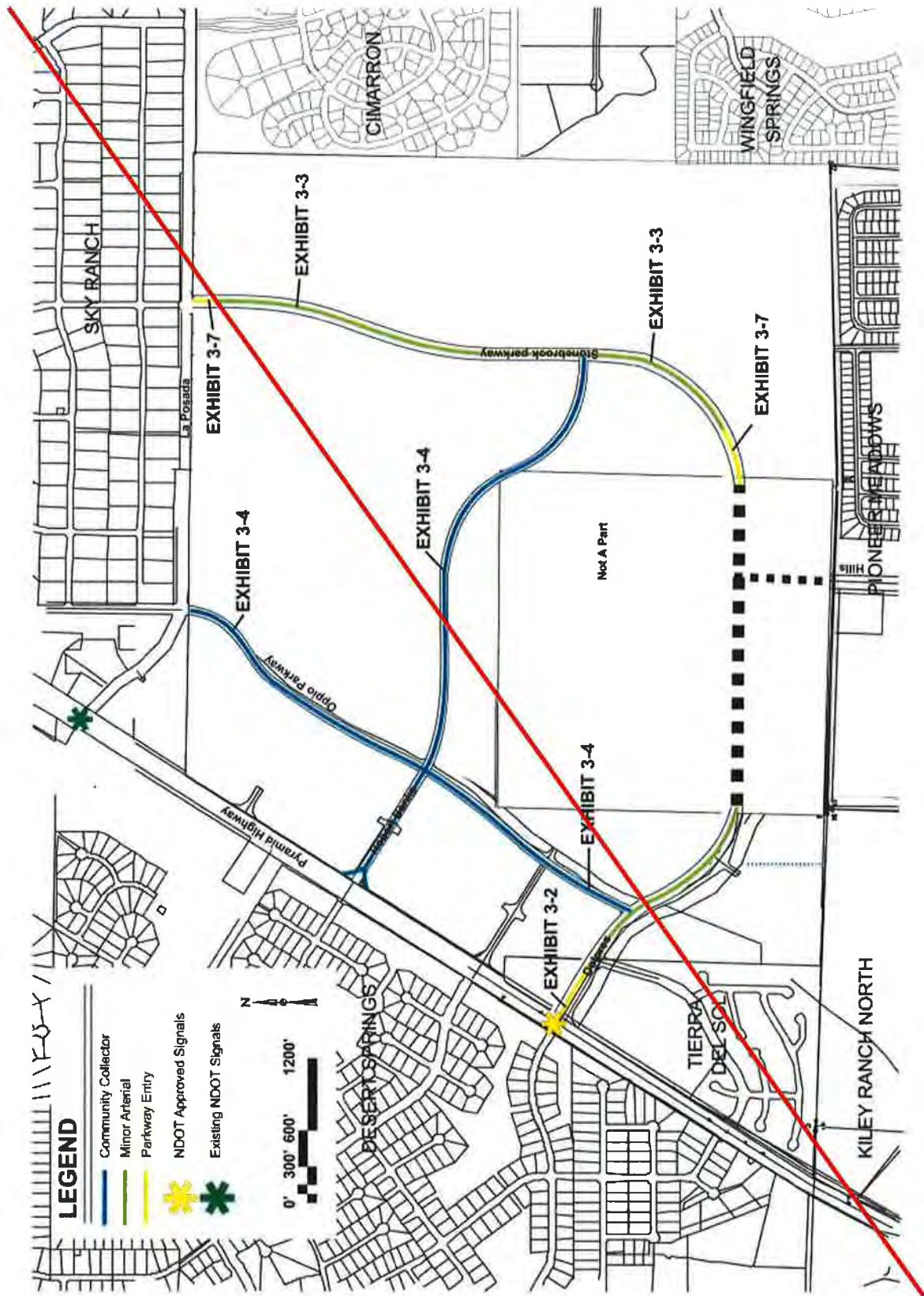


1.3.4 Access and Circulation

There are two primary and two secondary points of access to Stonebrook. Refer to **Exhibit 1-6** Access and Circulation. The west entry is from Pyramid Highway approximately 8 miles north of the Pyramid Highway/I-80 intersection and the north entry is from La Posada approximately ¼ mile east of the intersection of La Posada and Pyramid Highway.

Refer to the Stonebrook Traffic Analysis Study and Chapter Three for more detailed roadway information.





1.3.5 Service Purveyors

Stonebrook Service Purveyors are as follows:

Utilities:

Water: Truckee Meadows Water Authority
1155 Corporate Boulevard
Reno, Nevada

Note: Water Rights to support water service shall be offered for dedication at the time of Final map.

Wastewater Treatment/
Treated Effluent: City of Sparks
431 Prater Way
Sparks, Nevada

Electric Service: ~~Sierra Pacific Power Co~~ NV Energy.
6100 Neil Road
Reno, Nevada

Natural Gas Service: ~~Sierra Pacific Power Co~~ NV Energy.
6100 Neil Road
Reno, Nevada

Telephone Service: SBC/Nevada Bell AT&T
645 E. Plumb Lane
Reno, Nevada

CATV: Charter Communications or to be determined

Stormwater Utility: City of Sparks
431 Prater Way
Sparks, Nevada

Governmental Services:

Development/Building: City of Sparks
431 Prater Way
Sparks, Nevada

Transportation: NDOT
310 Galletti Way
Sparks, Nevada

Regional Transportation Commission
PO Box 30002
Reno, Nevada

1.4 Phasing

1.4.1 Infrastructure Phasing

As individual villages are proposed for development, the roadway and utility infrastructure will be extended in order to facilitate access to the proposed development. These roadways and utilities, as applicable, will be offered for dedication to the City at the time of submission of Final Maps. Temporary access, if required, shall be provided to the satisfaction of the Public Works Director and Fire Department of the City of Sparks.

All roadway and utility infrastructure shall be constructed to full width sections in a logical sequence to accommodate the proposed Development. These improvements will be constructed concurrent with the phase of development in which it is sited.

Refer to Phasing Plan, **Exhibit 1-7**.

1.4.2 Phasing Schedule

Table 1-6 below, shows anticipated phases for each area within Stonebrook. The actual phasing and development of Stonebrook however, will be determined by the developer based on logical infrastructure extension, market demand, and economic conditions.

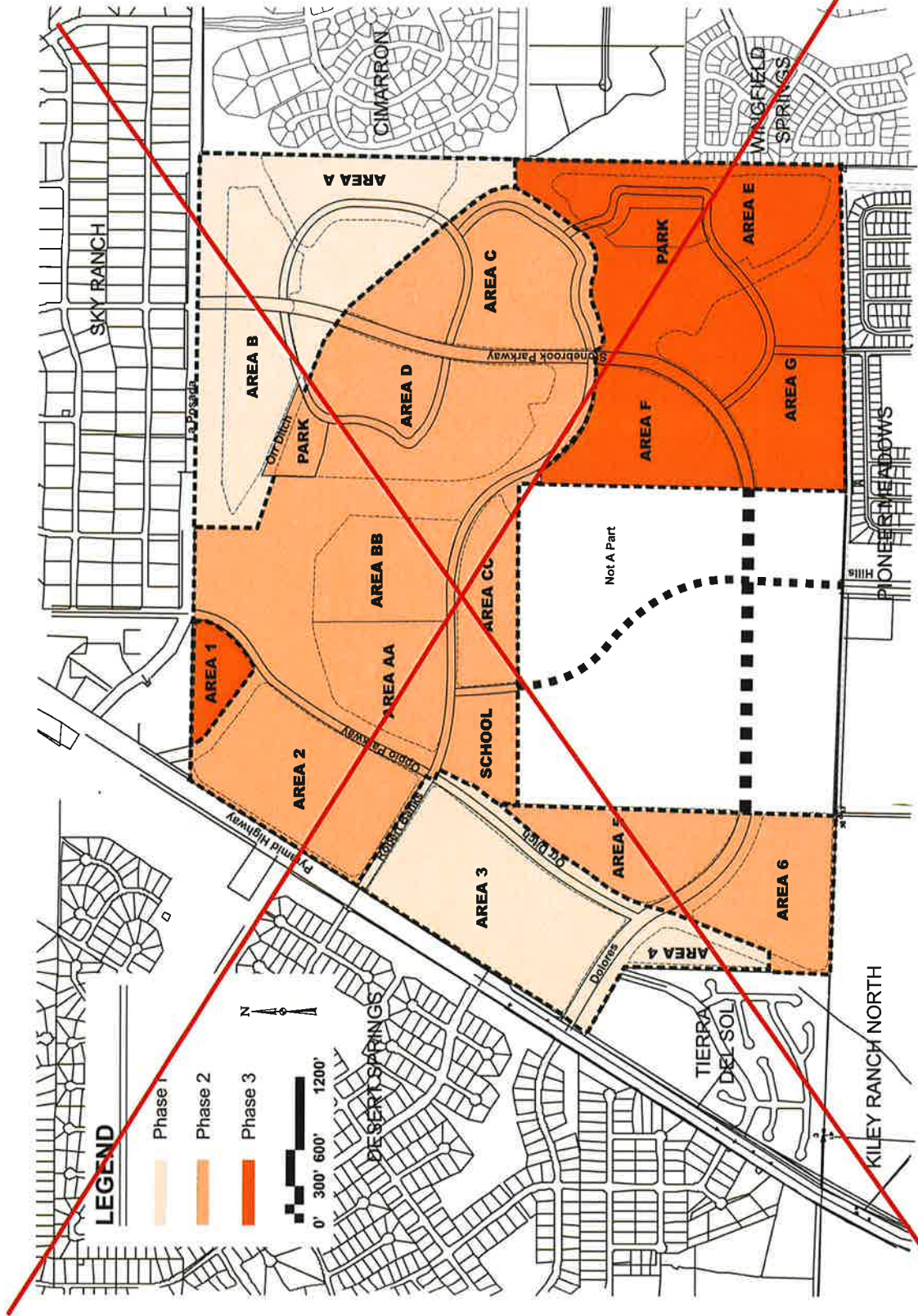
Phasing assumes market absorption of residential areas at approximately 200 units per year and Non-residential at 80,000 SF in year one and 40,000 SF per year thereafter.

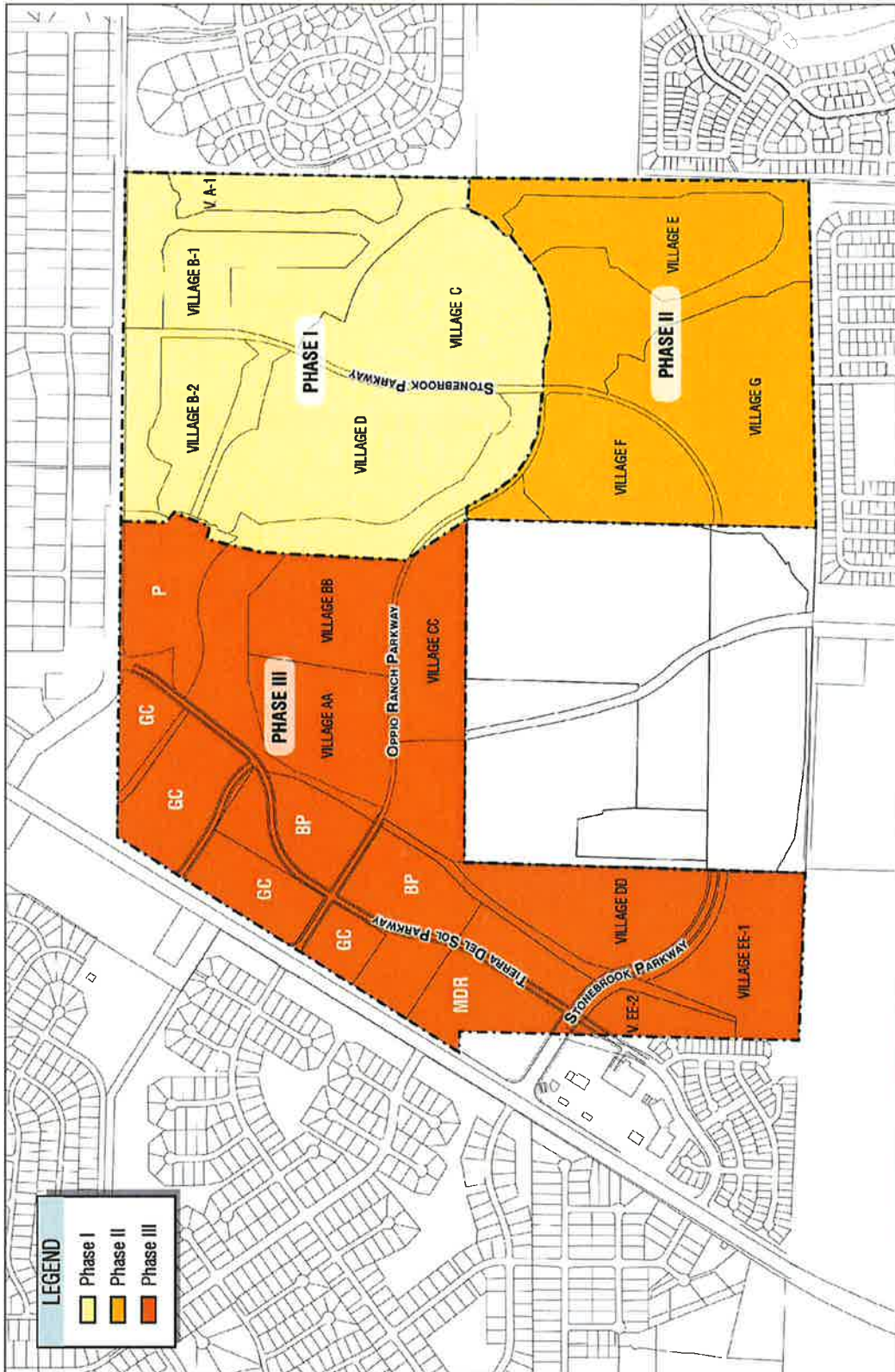
This Phasing Schedule does not imply full build-out of one phase prior to commencement of another. It is anticipated that development within certain phases of Stonebrook will occur simultaneously to one another.

Table 1-6 Phasing Schedule

Designation Area (Exhibit 1-7)	Land Use	Approx. Units	Appropriate Phase
<u>Residential</u>			
Area A	LDR	73	Phase 1
Area B	LDR	90	Phase 1
Area C	LMDR	267	Phase 21
Area D	LDR	193	Phase 21
Area E	LDR	95	Phase 32
Area F	LDR	100	Phase 32
Area G	LMDR	250	Phase 32
Area AA	LMDR	205	Phase 23
Area BB	LMDR	206	Phase 23
Area CC	LDR	68	Phase 23
Area 1 MDR	MDR	198 287	Phase 3
Area DD 5	LMDR	182	Phase 23
Area EE 6	LMDR	208	Phase 23
Total Residential Units		2135	
<u>Commercial Retail</u>			
Area 3 GC	GC		Phase 31
Area 4	GC		Phase 1
<u>Business Park</u>			
Area 2BP	BP		Phase 23

Exhibit 1-7
Phasing Plan





1.4.3 Phase 1

Roadways Phase 1:

With the first phase of residential development, Areas A, B, C and D and B as identified on the ~~Phase One~~ Phasing Plan, **Exhibit 1-78**, La Posada improvements shall be initiated to the standards designated in the RTC CIP commencing from the eastern property line of Stonebrook to approximately the intersection of Rockwell.

Also with the first phase of residential development (~~areas A and B~~) as identified on the ~~Phase One~~ Phasing Plan, **Exhibit 1-78**, a 2,100-lineal foot~~the~~ portion of Stonebrook Parkway shall be constructed to its full width section commencing from the intersection of La Posada extending to the south. Portions of this roadway qualify for inclusion in the RTC CIP. In such case, the developer shall receive road impact fee credits accordingly. The collector street network ~~as identified on the Phase One Phasing Plan, Exhibit 1-8~~, shall be incrementally constructed in conjunction with the development areas in which they occur and shall be constructed to full width at build out, as applicable.

~~The first phase commercial development will include the construction of the community collector streets surrounding Area 3, including portions of Delores Drive and Robert Banks Boulevard as identified on the Phase One Phasing Plan, Exhibit 1-8.~~

Utilities Phase 1:

Sanitary Sewer:

~~The first phase sanitary sewer facilities on the west side of Stonebrook will consist of main extensions from the existing Northwest Interceptor to serve Area 3.~~

~~Sanitary sewer improvements on the east side of Stonebrook will include construction of the sewer lift station, force main, and collection sewer mains to serve areas A and B. This will also include sewer facilities through areas identified for development in future phases as identified on the Phase One Phasing Plan, Exhibit 1-8. Two alternatives exist for the force main connection to the one of the existing sewer interceptors. The alternative selection will be made in conjunction with the City of Sparks. Refer will be constructed commensurate with each adjacent village in accordance with to the Sewer Report prepared for this handbook prepared by Wood Rodgers, dated May 2005.~~

Flood Control/Storm Drain:

Reach 4 flood control facilities shall be constructed as generally depicted in the Flood Control Master Plan for Stonebrook commencing at the Southeast corner (Area E) and progressing to the North/Northwest to the boundary of the project at Pyramid Highway, ~~as identified on the Phasing Plan, Exhibit 1-8~~ in addition, the first phase improvements will include construction of the low flow drainage pump station located in the southeast corner of the project.

~~Construction of the portion of the Reach 9 Flood Control Channel through Stonebrook shall be constructed with the initial adjacent phase of construction. These facilities shall be constructed in a logical sequence, as approved by the Public Works Director in order to facilitate the phase of construction proposed for development. Final Hydrology Reports and Improvement Plans shall be submitted to and approved by Public Works Director with each proposed phase of development and further define the extent of flood control improvements as necessary.~~

Gas/Electric/Water/Telecommunications:

These various service facilities shall be extended underground within the aforementioned roadway right-of-ways from both Pyramid Highway and La Posada to serve each phase of development as they occur. ~~See Phase One Phasing Plan, Exhibit 1-8 and section 1.4.5.~~

Regional Trail and Development Pathways, Phase I:

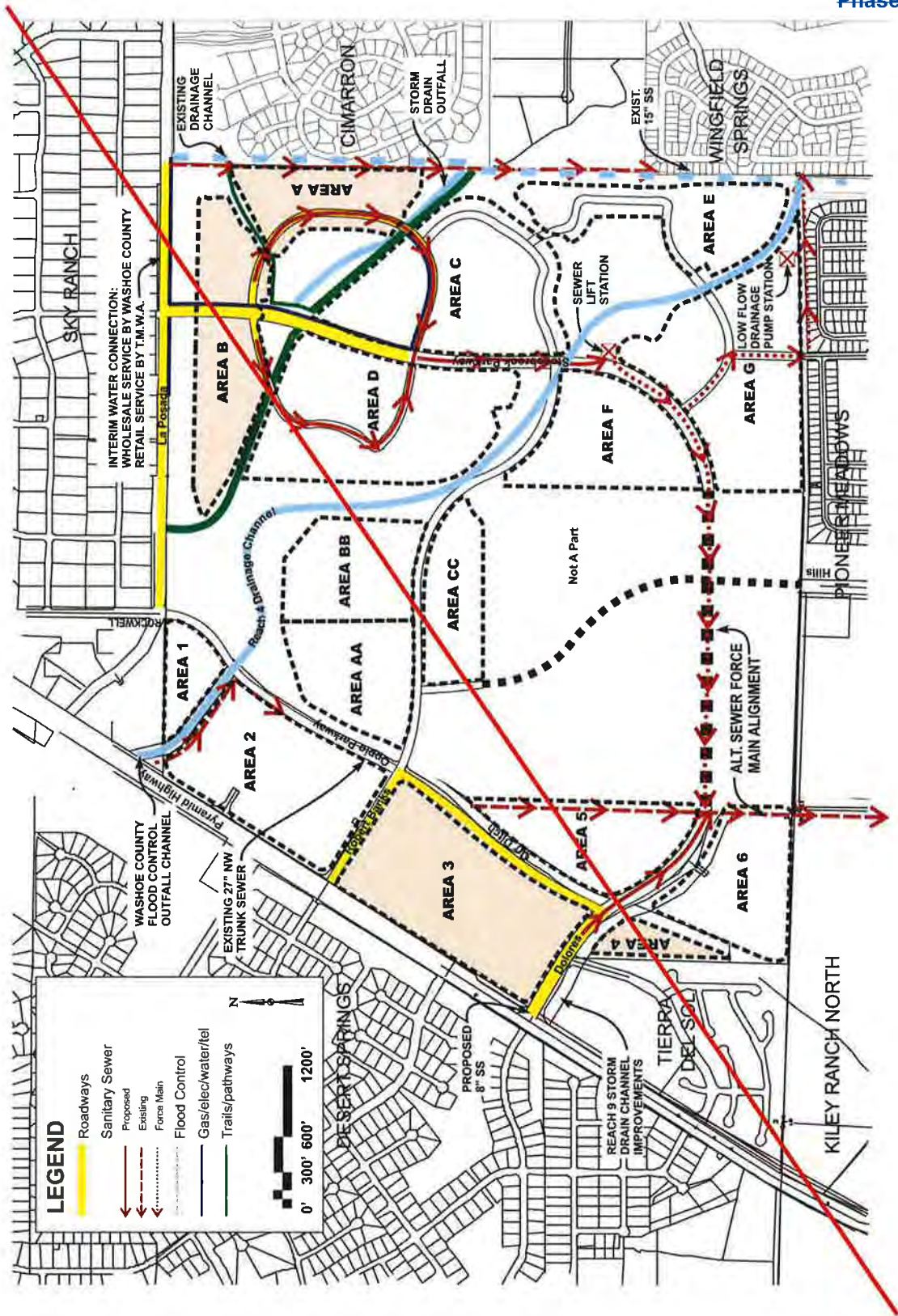
Regional trail and development pathways within the phase I development shall commence construction simultaneously with the adjacent phase of residential or commercial development. ~~(Refer to Phase One Phasing Exhibit 1-8)~~

1.4.4 Phase 2

Roadways Phase 2:

~~With the residential development of areas C, and DE, F and G, as identified on the Phase Two Phasing Plan, Exhibit 1-9, a 1,200-lineal footthe adjacent portion of Stonebrook Parkway shall be constructed to its full width section commencing from the southern section built with phase one, to the southern boundary of phase two. Refer to Exhibit 1-9~~
~~With the residential development of Areas 5 and 6, as identified on the Phase Two Phasing Plan, Exhibit 1-9, Dolores Drive will extend east from its terminus in phase 1 to the project boundary.~~

~~With the first phase of commercial construction, General Commercial Area 3 and Residential Areas AA and BB as identified on the Phase Two Phasing Plan, Exhibit 1-9, Robert Banks shall be constructed from it's terminus in phase one to the intersection of Stonebrook Parkway. With development of Business Park Area 2, Oppio Parkway will be extended from its terminus in phase one to the northern phase two boundary. The local street network roadways as identified on the Phase Two Phasing Plan, Exhibit 1-9, shall be incrementally constructed in conjunction with the development areas in which they occur and shall be constructed to full width at build out.~~



Utilities Phase 2:

Sanitary Sewer:

~~With the development of Areas 5 and 6, the second phase sanitary sewer facilities on the west side of Stonebrook will consist of sewer main connections to the facilities constructed with Phase 1. Area AA will be served by a collector sewer extended from the existing Northwest Interceptor as identified on the Phase Two Phasing Plan, **Exhibit 1-9**.~~

~~— Improvements on the east side of Stonebrook will include construction of collection sewer mains to serve Areas, C, D, BB and CC as identified on the Phase Two Phasing Plan, **Exhibit 1-9**. Sanitary sewer improvements will be constructed commensurate with each adjacent village in accordance with the Sewer Report prepared for this handbook prepared by Wood Rodgers, dated May 2005.~~

~~— Flood Control/Storm Drain:~~

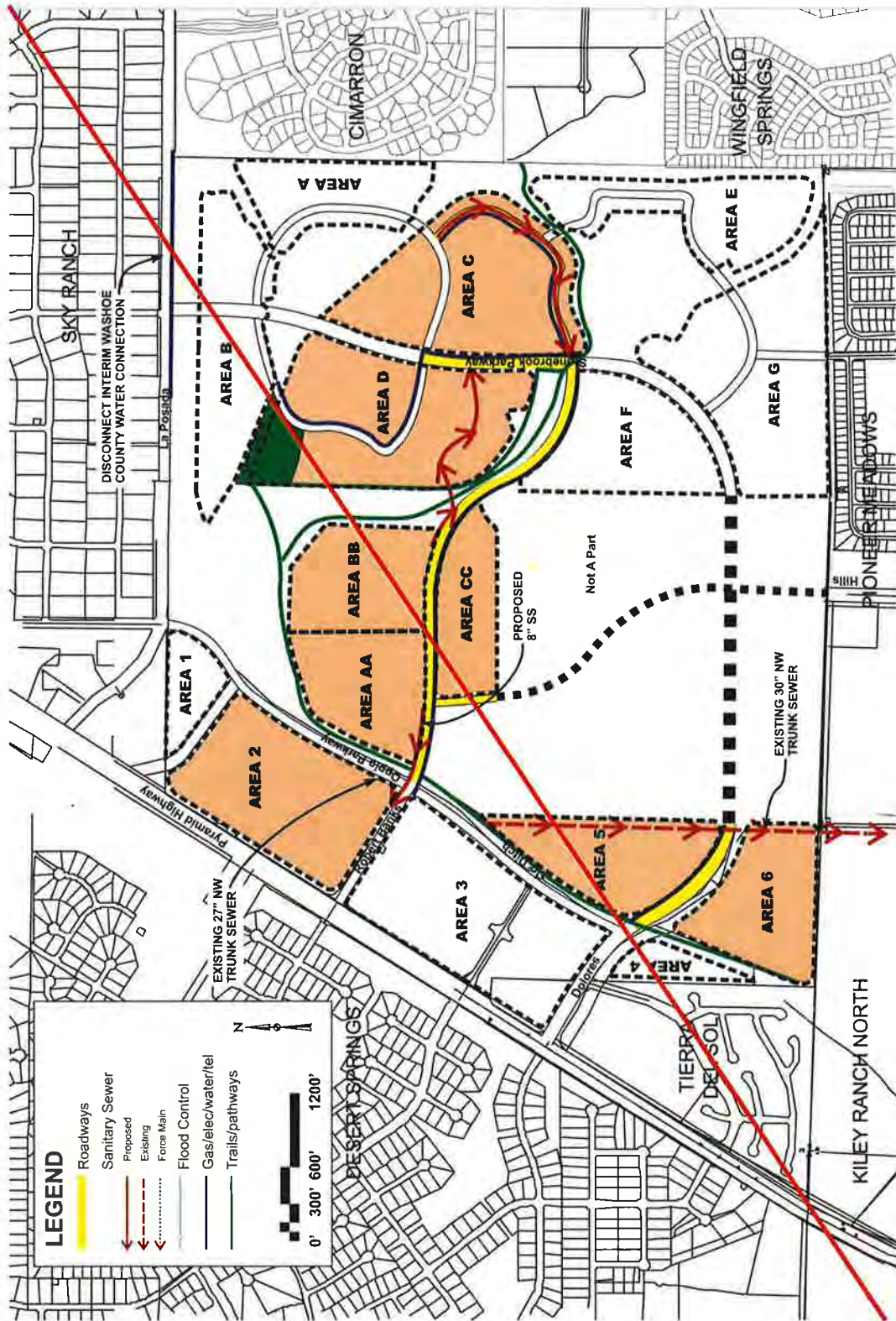
The major flood control facilities were completed with the Phase 1 improvements. Phase 2 drainage facilities will consist of local improvements within each area developed. These facilities shall be constructed in a logical sequence, as approved by the Public Works Director in order to facilitate the phase of construction proposed for development. Final Hydrology Reports and Improvement Plans shall be submitted to and approved by Public Works Director with each proposed phase of development and further define the extent of flood control improvements as necessary.

Gas/Electric/Water/Telecommunications:

These various service facilities shall be extended underground within the aforementioned roadway right-of-ways from both Pyramid Highway and La Posada to serve each phase of development as they occur. See Phase Two Phasing Plan, **Exhibit 1-9** and section 1.4.5

Regional Trail and Development Pathways, Phase 2:

Regional trail and development pathways within the phase of development shall commence construction simultaneously with construction of the adjacent phase of development. Regional trails and/or development pathways within the non-residential land uses shall commence construction upon the issuance of the initial building permit within the phase it occurs. See Phase Two Phasing Plan, **Exhibit 1-9**.



1.4.5 Phase 3

Roadways Phase 3:

~~With the residential development of areas E, F and GAA, BB, CC, DD, EE and the MDR parcel as identified on the Phase Three Phasing Plan, **Exhibit 1-10** a 1,850 lineal foot the adjacent portion of Stonebrook Parkway shall be constructed to its full width section commencing from the terminus of Phase two construction western boundary of the PUD, extending south east to the property line. Extension of Stonebrook Parkway to Pyramid Highway will be constructed in collaboration with the adjacent Tierra Del Sol property owner once required per an updated traffic study for the portion of Phase 3 located west of the Orr Ditch.~~

~~With the development of Area 1, Oppio Parkway will be extended north, from its phase two terminus, to La Posada Drive. The local street network as identified on the Phase Three Phasing Plan, **Exhibit 1-10**, shall be incrementally constructed in conjunction with the development areas in which they occur and shall be constructed to full width at build out. With the development of Phase 3, Tierra Del Sol Parkway will be constructed commensurate with the adjacent residential and commercial development, with connection to La Posada Drive. Oppio Ranch Parkway will be constructed to connect Pyramid Highway to Stonebrook Parkway, as necessary with each adjacent village construction.~~

Utilities Phase 3:

Sanitary Sewer:

~~With the development of Areas 1 and 2, the third phase sanitary sewer facilities on the west side of Stonebrook will consist of sewer main connections to the existing Northwest Interceptor. Area 4 will be served by a collector sewer extended from the facilities constructed with Phase 1 as identified on the Phase Three Phasing Plan, **Exhibit 1-10**.~~

~~Improvements on the east side of Stonebrook will include construction collection sewer mains to serve areas E, F, and G as identified on the Phase Three Phasing Plan, **Exhibit 1-10**. Sanitary sewer improvements will be constructed commensurate with each adjacent village/commercial parcel in accordance with the Sewer Report prepared for this handbook prepared by Wood Rodgers, dated May 2005.~~

Flood Control/Storm Drain:

~~The major flood control facilities were completed with the Phase 1 improvements. Phase 3 drainage facilities will consist of local improvements within each area developed. These facilities shall be constructed in a logical sequence, as approved by the Public Works Director in order to facilitate the phase of construction proposed for development. Final Hydrology Reports and Improvement Plans shall be submitted to and approved by Public Works Director with each proposed phase of development and further define the extent of flood control improvements as necessary. Construction of the portion of the Reach 9 Flood Control Channel through Stonebrook shall be constructed with the initial adjacent phase of construction. These facilities shall be constructed in a logical sequence, as approved by the Public Works Director in order to facilitate the phase of construction proposed for development. Final Hydrology Reports and Improvement Plans shall be submitted to and approved by Public Works Director with each proposed phase of development and further define the extent of flood control improvements as necessary.~~

Gas/Electric/Water/Telecommunications:

These various service facilities shall be extended underground within the aforementioned roadway right-of-ways from both Pyramid Highway and La Posada to serve each phase of development as they occur. See Phase Three Phasing Plan, **Exhibit 1-10** and section 1.4.5.

Regional Trail and Development Pathways, Phase 3:

Regional trail and development pathways within the phase of development shall commence construction simultaneously with development of the adjacent project. Regional trails and/or development pathways within the non-residential land uses shall commence construction upon the issuance of the initial building permit within the phase it occurs. See Phase 3 Phasing Plan, **Exhibit 1-10**.



CHAPTER 2: DESIGN REVIEW/APPROVAL PROCESS AND PROJECT GOALS AND POLICY CONFORMANCE

2.1 Design Review Process

- 2.1.1 The design review process is required for all new development and construction as, well as exterior remodels and site revisions to projects within Stonebrook. The Stonebrook Architectural Committee, (SAC) established through the Stonebrook CC & R's and City of Sparks shall utilize these Design Standards in their reviews of those proposed projects. The standards within this Handbook apply to and govern all new construction, remodeling, signs, walls/fences and landscape.

New construction, remodeling and grading projects in Stonebrook must obtain approval of their Site, Architectural and Landscape plans from the Stonebrook Architectural Committee (SAC) PRIOR to submitting to the City for their review and approval, and for any and all entitlements and permits necessary (i.e. Parcel Maps, Tentative Maps, Final Maps, ~~Site Plan~~Administrative Review, Building Permits, ~~Special Use~~Conditional Use Permits (CSUP) or others) as warranted by the City of Sparks. While the SAC may review and comment on certain items, the City of Sparks is and shall remain the final approval body.

A written, SAC approval letter / stamped plans, must accompany all submittals to the City of Sparks.

The Administrator shall have responsibility to interpret these standards as provided for in this document and, where the handbook is silent, current City of Sparks ordinances and policies at the time of submission for permit shall apply.

Where the Stonebrook Development Site Architectural Handbook are in conflict with the Sparks Municipal Code Requirements, the stricter of the two documents shall apply.

- 2.1.2 Prior to initiating design work, the Applicant is encouraged to contact and meet individually with both the SAC and the City of Sparks Staff in pre-design conferences to review preliminary plans and determine general conformance with Stonebrook's design intent and permitted uses.

- 2.1.3 The design review process shall culminate as follows:

City of Sparks Review

Upon receipt of a letter of approval from the SAC, the Applicant shall submit to the City of Sparks for all Parcel Map, Tentative Map, Final Map, ~~Special~~Conditional Use Permit, ~~Administrative~~Site ~~Plan~~Review and other reviews, permitting and/or entitlements as required by the City of Sparks. The Applicant may not proceed with construction until all such permitting has been approved and permits are issued by the City of Sparks.

- 2.1.4 Handbook Modifications, Deviations/Waivers and Appeals:

Any proposed amendments or modifications of this Handbook should be submitted to the Administrator. The Administrator will then determine whether it will be reviewed and approved administratively or require an amendment to Handbook following process defined in NRS. Nothing contained in the content of this Section shall in any way be construed as placing the City or its Administrator in an appellate capacity in the event of a prior SAC disapproval of any proposed amendment, deviation or variation.

Deviations/Waivers: All requests by an applicant for waivers or deviations from the standards or requirements contained in the Handbook must be approved by the SAC PRIOR to submittal to the City of Sparks for their review and approval.

Deviations/Waivers Approval Procedures and Parameters: The Administrator shall have the authority to process and approve deviations and waivers from these standards consistent with City Code and the Handbook in effect at the time of the request.

Appeals: Any aggrieved party may appeal the decision of the Administrator to the Planning Commission or other body designated by the City of Sparks, and the decision of the Planning Commission to the City Council pursuant to the current provisions of the Code.

2.1.5 City Review

The developer shall submit the final hydrology report and final sewer report, for review and approval by the ~~Engineering Services Manager of Community Development~~ City Manager and the Administrator with the submittal of the first final map. Each final map submittal shall include civil improvements plans that include all open space, trail/pathways, and streetscape improvements, internal or adjacent to the area being final mapped in accordance with Sparks Municipal Code and the Handbook.

All development plans to establish new construction and building expansion as defined in the appropriate land use section, will require ~~Site Plan~~ Administrative Review and/or ~~Special Use~~ Conditional Use Permit (when applicable) by the City of Sparks, as defined in the description of land uses in Chapters 4 through 7.

2.1.6 Stonebrook Architectural Committee - SAC

The SAC for Stonebrook shall be a committee comprised of at least three individuals who are owners, tenants, or occupants of projects located within Stonebrook, or their designated representatives. The SAC shall be created by the grantor CC&R's for the Planned Development.

The SAC shall employ the services of a Nevada licensed architect, landscape architect, engineer, or other professional(s) to advise the SAC, as warranted by the SAC.

2.2 Individual Project Approval Process

2.2.1 General Provisions

Prior to development of an Individual Project within the Stonebrook Planned Development, such Individual Project shall be reviewed to determine that it meets and conforms with the standards and guidelines of the Handbook, following the plan review approval process set forth in this Section 2.2. In addition, Individual Projects requiring a ~~Special Use~~ Conditional Use Permit must adhere to the normal Sparks ~~Special~~ Conditional Use Permit process; provided that the application for a ~~Special~~ Conditional Use Permit may be processed concurrently with the Tentative Map, or ~~Site Plan Review~~ Administrative Review for the Phase in which the Individual Project is located and/or the review process set forth in this Section 2.2. and illustrated in **Exhibit 2-1**.

A developer or builder of an Individual Project is referred to hereinafter as the "Project Applicant". Prior to submitting plans for an individual Project to the City for review and approval, a Project Applicant shall first obtain approval of the plans from the Stonebrook Architectural Committee (the SAC), pursuant to a review and certification process set forth in covenants and conditions recorded by the Master Developer that encumber the entirety

of Stonebrook ("Stonebrook Covenants"). After obtaining such certification, the plans shall be submitted to the City for Tentative Map, ~~Site Plan Review~~Administrative Review or other actions to assure that each Individual Project meets or exceeds the Development Standards and fits within the Design Parameters established by this Handbook. ~~Refer to Exhibit 2-1 for a graphic illustration of the process.~~

With regard to all determinations made by the City under this Section 2.2, the City may grant a deviation of up to twenty percent (20%) from the standards and guidelines in the Handbook without conducting a hearing as long as such deviation will not impair the purpose of the Handbook (each a "Minor Deviation" as defined in SMC 20.07.020). Adjustments to the boundaries of such land use designations due to changes in the locations of streets dividing two such designations shall not constitute a relocation of a land use designation.

Approval of the plans for an Individual Project may be sought either after final handbook approval of the Phase in which the Individual Project is located, or concurrently with the final handbook approval process; provided, however, that in no event shall the Tentative Map or ~~Site Plan~~Administrative Review be completed prior to completion for the final handbook approval process. In the event of any conflict between the process set forth in this Handbook and any other review process used by the City, this Handbook shall control. Where this Handbook is silent on a particular approval procedure, the Sparks Municipal Code or other regulations governing development of land in effect at the time shall prevail.

Applications for commercial and residential Individual Projects are subject to different approval processes and are addressed separately in the following sections. For definition purposes, an "Individual Residential Project" is defined as one that is built as "for sale" residential housing, whether attached or detached; an "Individual Commercial Project" is defined as one that involves commercial, office/business park and multi-family "for rent" projects.

2.2.2 Individual Commercial Project ~~Site Plan~~Administrative Review Approval

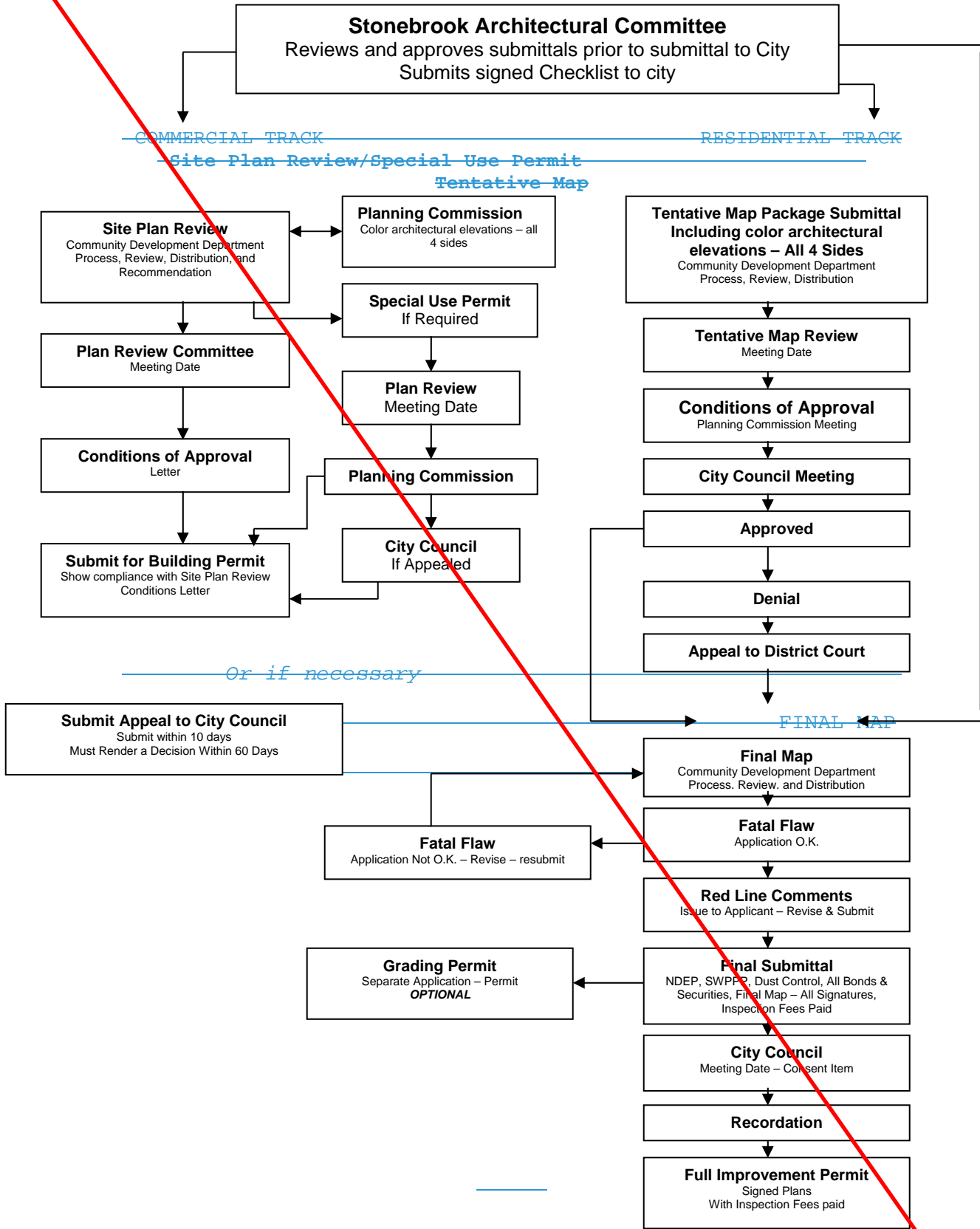
All new building construction requires a site plan review, provided that some construction must first be authorized by a ~~Special Conditional~~ Use Permit, colored architectural elevations (all 4 sides) shall be reviewed by the Planning Commission as a business item simultaneously with ~~site plan~~Administrative review. The review process for Individual Commercial Projects consists of three distinct, but interrelated phases: (~~refer to Exhibit 2-1~~)

- 1) The first phase is the pre-application process. It is during this phase that a Project Applicant becomes familiar with the application requirements and obtains feedback on preliminary design ideas from the SAC and the city.
- 2) The second phase is the SAC review/certification process.
- 3) The third phase consists of the City's process for approving the Individual Commercial Project, including a ~~Special Conditional~~ Use Permit approval, if applicable. Here the City will make its determination as to whether the Project meets and conforms to the standards set forth in this Handbook.

The Project Applicant shall become familiar with the City's review process and application requirements. (~~Refer to Exhibit 2-1, Individual Project Approval Process — Commercial Track, for Specific steps required for project approval.~~)

2.2.3 ~~2.2.3~~ At the time of original handbook approval, all existing businesses must comply with City of Sparks Codes and Ordinances.

Exhibit 2-1 INDIVIDUAL PROJECT APPROVAL PROCESS



2.2.32.2.4 Residential Project Approval Process

Like the review process for Individual Commercial Projects, the review process for Individual Residential Projects includes review by both the SAC and the City of Sparks. In addition, the review process for Individual Residential Projects includes approval of a Tentative Map and a Final Map. The process consists of three distinct, but inter-related phases:

- 1) The first phase is the pre-application process. It is during this phase that the Project Applicant becomes familiar with the application requirements and obtains feedback on preliminary design ideas from the SAC and the city.
- 2) The second phase consists of both the SAC and the City of Sparks Tentative Map process
- 3) The third phase is the Final Map approval process by the SAC and the City of Sparks.

It is incumbent upon the Project Applicant to become familiar with the SAC and City review process and application requirements. (Refer to **Exhibit 2-1 Individual Project Approval Process – Residential Track, for specific steps required for project approval.**)

2.2.42.2.5 Permitted Unit Transfers

The Stonebrook “Master Plan” set forth on **Exhibit 1-3** of this Handbook, designates several “bubble” areas for residential or mixed residential/commercial uses (each a “Master Plan Area”). The number of dwelling units allowed within any specific village has been allocated based upon a combination of approved tentative maps and final maps (Villages A, B, C, D, E, F and G) as of the date of this amendment, in addition to previously identified units based upon the approved 2005 Stonebrook handbook. The projected number of remaining units is generally less than the underlying City of Sparks Comprehensive Plan designations for each village. The intent of this section is to allow for flexibility of design and to allow for reallocation or transferring of units between residential villages. Future subdivisions or multifamily properties may have more or less units that identified in Table 2-1 below. With each tentative map or administrative review, as applicable, the applicant shall provide an accounting of remaining units to demonstrate the increase or reduction in the proposed project. At no time shall the number of dwelling units for any given village exceed the allowable density of the underlying City of Sparks Comprehensive Plan designation.

Table 2-1:

<u>Village</u>	<u>Comprehensive Plan Designation</u>	<u>Stonebrook Designation</u>	<u>Maximum Allowable Density</u>	<u>Unit Allocation</u>
A	LDR	LDR	6 DU/AC	45
B-1	LDR	LDR	6 DU/AC	60
B-2	LDR	LDR	6 DU/AC	60
C	IDR	LMDR	10 DU/AC	231
D	LDR	LDR	6 DU/AC	198
E	LDR	LDR	6 DU/AC	107
F	LDR	LDR	6 DU/AC	108
G	IDR	LMDR	10 DU/AC	252
AA	IDR	LMDR	10 DU/AC	206
BB	IDR	LMDR	10 DU/AC	205
CC	LDR	LDR	6 DU/AC	68
SUBTOTAL				1,540
DD	IDR	LMDR	10 DU/AC	127
EE	IDR	LMDR	10 DU/AC	171
MDR	MF24	MDR	24 DU/AC	297
SUBTOTAL				595

TOTAL				2,135
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Master Plan Area is calculated by multiplying the acreage for such Master Plan Area (as shown in the Master Plan) by the maximum allowed density for the land use designation for that area (the "Permitted Units"). Refer to Table 2-1. For purposes of this section 2.2.5, Permitted uses shall refer to dwelling units only. Notwithstanding the Permitted Units allowed within any particular Master Plan Area, Permitted Units may be transferred from one Master Plan Area (the "Sending Area") to another Master Plan Area (the "Receiving Area") under the following conditions:

- (1) ~~Permitted Units may be transferred from one Master Plan Area to another within Stonebrook; no such transfers will be allowed to or from development areas outside Stonebrook.~~
- (2) ~~Before and after each transfer, the sum total of permitted Units for all of the Master Plan Areas may not exceed two thousand one hundred thirty five (2135). Densities for residential uses may not be exchanged with or converted to non-residential uses under this agreement. (except as noted in the County Park land swap alternative.)~~
- (3) ~~The number of Permitted Units transferred to any Receiving Area shall not exceed the maximum density for such area (as indicated in the Master Plan) by more than twenty percent (20%).~~
- (4) ~~The owner of the Receiving Area must present evidence satisfactory to Community Development Department that there will be adequate infrastructure serving the Receiving Area to accommodate the increase in Permitted Units.~~

TABLE 2-1

Master Plan Area - Permitted Density

Village	Zoning	Density	Acreage	Units
A-1	LDR	4	18.30	73
B-1	LDR	4	8.80	35
B-2	LDR	4	13.70	55
C-1	MDR	6	19.40	116
C-2	MDR	6	25.10	151
D-1	LDR	4	31.80	127
D-2	LDR	4	16.40	66
E-1	LDR	4	23.80	95
F-1	LDR	4	25.09	100
G-1	MDR	6	11.50	69
G-2	MDR	6	20.30	122
G-3	MDR	6	9.90	59
AA-1	MDR	10	20.6	206
BB-1	MDR	10	20.5	205
CC-1	LDR	4	17.10	68
Total				1547
Parcel 1	HDR	1415	14.019.1	198287
Parcel 5	MDR	8	22.72	182
Parcel 6	MDR	8	26.00	208
Total				588677
Total				21352222

To effectuate a transfer of Permitted Units, the owners of the Sending Area and Receiving Area must jointly petition to the Community Development Dept. for permission to transfer, using a form, obtained from Community Development. Community Development may approve transfers of Permitted Units as Minor Deviations from the plan so long as (a) the conditions set forth above have been met and (b) Community Development finds that the transfer is consistent with the handbook. If the conditions in the forgoing sentence are not met, the transfer must be processed as an amendment to the Handbook, and, if applicable, an amendment to the City of Sparks Master Plan. Upon completion of the transfer, the Permitted Units become appurtenant to the real property of the Receiving Area.

All transfers shall be logged onto a "transfer log" maintained jointly by the City and the Master Developer.

III. PROJECT GOALS AND POLICIES

This proposal addresses the following goals and policies contained in the Northern Sparks Sphere of Influence Plan and those in NRS 278A.020.

NORTHERN SPARKS SPHERE OF INFLUENCE PLAN FINDINGS

Conservation

Cultural and Scenic Resources

SIP 1.1 Ensure that the primary scenic views of the planning area from the Pyramid Highway and Spanish Springs Road are protected.

SIP 1.1.1 A minimum 25-foot buffer should be provided between all property lines and pavement along arterial streets. Fences, walls, or structures should be discouraged in these areas. Development designs shall be encouraged to maintain a compatible landscaping theme for buffer areas throughout the planning area.

A 25-foot wide landscape corridor is being provided along Pyramid Highway, and Kiley Ranch Parkway/Pace/Lazy 5 Parkway.

SIP 1.1.2 Require the underground placement of distribution, secondary and service lines and other utilities for any new development at urban densities in the master plan.

All future service and utility lines entering, or contained within this project shall be placed underground.

SIP 1.1.3 The development design should be encouraged to provide open space linkages to establish a trail network system throughout the planning area.

The proposed project provides a trail link along the Orr Ditch to assist in creating this trail link.

Land Resources

SIP 2.1.1 Soils and vegetation beyond the limits of construction identified on an approved plan shall not be disturbed.

SIP 2.1.2 Disturbed areas should be revegetated or mechanically stabilized and fills slopes should not exceed a 3:1 slope.

An erosion control plan and Storm Water Pollution Prevention Plan (SWPPP) is required in the City of Sparks Design Standards for all developments within the proposed project.

SIP 2.2 The development on steep slopes should be minimized and designed to "fit in".

SIP 2.2.1 Discourage any development on slopes greater than 30 percent.

SIP 2.2.2 Development should be in accordance with the City of Sparks hillside ordinance. Development proposals which include land where site specific analysis identifies slopes of 25 percent or greater shall preserve a specified percentage of the land in a natural

~~state (without clearing, grading or other construction-related disturbance).~~

~~SIP 2.1.3 Grading of any hillside should be required to establish an undulating naturalistic appearance by creating varying curvilinear contours.~~

~~Based on site specific analysis, the site does not trigger the need for a review under the Hillside Ordinance.~~

~~SIP 2.3.1 Development designs shall be encouraged to maintain a compatible landscaping theme for buffer areas throughout the master planning area.~~

~~The Landscape Design Standards implement the design theme.~~

~~SIP 2.5 Require detailed soils and geotechnical studies to determine construction requirements, locations of active faults and soil stability.~~

~~SIP 2.5.1 Ensure structural integrity of roads and buildings.~~

~~SIP 2.5.2 Provide adequate setbacks from potentially active faults.~~

~~SIP 2.5.3 Minimize erosion potential.~~

~~SIP 2.5.4 The recommendations of the detailed geotechnical study will be followed for development proposals on areas which have been identified geological hazards.~~

~~SIP 2.6 Require erosion protection measures for all construction activities and any slopes identified as needing stabilization.~~

~~The Geotechnical Report addresses each of these issues and implements these objectives through detailed construction mitigation, refer to appendix for details.~~

Water Resources

Storm Drainage/Flood Control

~~SIP 3.1 Restrict development on floodplains in the City of Sparks Sphere of Influence planning area that would increase the 100-year floodwater levels or peak flows. Flood flows from the planning area will not exceed the capacity of the downstream drainage facilities on the North Truckee Drain.~~

~~The Hydrology Report addresses peak flows and concludes that the capacity of the downstream drainage facilities on the North Truckee Drain will not be exceeded.~~

Wetlands

~~SIP 3.5 All areas shown as potential wetlands on Plate 9 shall have studies performed to determine the actual extent of classified wetlands prior to development. Those areas not designated on the map shall not be required to obtain detailed studies.~~

~~Based on the Wetland Delineation Report contained in the Appendix of this application, no identified, delineated wetlands are present on the property.~~

Orr Ditch

~~SIP 3.7 Provide for the interim use of the Orr Ditch to serve agriculture and the eventual use for wetlands supply and groundwater recharge by:~~

~~SIP 3.7.1 Minimizing crossings and impacts on ditch functioning for the interim period.~~

~~SIP 3.7.2 Require adjacent development to design open space uses in conjunction with the ditch and bank as specified by the design guidelines illustrated on Plate 9A.~~

~~SIP 3.7.3 Investigate use for trails between activity centers and neighborhoods.~~

~~SIP 3.7.4 Require easement dedications on all subdivision or parcel maps to the satisfaction of the Orr Ditch and Extensions Company.~~

~~An open space regional trail link is proposed, to perpetuate the Orr Ditch Open Space Trail. (Refer to Chapter 3, page 3 of 5, Exhibit 3-6.~~

Air Resources

Air Quality

~~SIP 4.1 Maintain or exceed federal, state and local carbon monoxide ambient particulates (PM10) and ozone air quality standards.~~

~~SIP 4.1.6 To minimize traffic impacts on air quality, a minimum level of service "D" shall be maintained on roadways in the planning area.~~

~~All proposed roadways within the project will meet or exceed a level of service "C" standard based on proposed improvements. (Refer to Traffic Study in Appendix)~~

Public Services and Facilities

~~SIP 5.1.1 Consider the use of treated effluent for public landscape irrigation purposes through the evaluation of health implications, the quality of effluent available, and cost of the effluent as irrigation water.~~

~~Effluent may be utilized for landscape irrigation in this project.~~

~~SIP 5.4 Provide linked open space corridors throughout the area planned for development to accommodate pedestrian, equestrian, and bicycle movement between residential and employment areas and major recreation nodes.~~

~~SIP 5.5 Encourage water conservation within new development through design guidelines which mandate water conservation landscape practices and water saving plumbing fixtures.~~

~~SIP 5.5.1 New development in the planning area will use water conserving landscape principles.~~

~~The Design Standards limit the use of turf and promotes the use of drip irrigation.~~

Land Use

~~SIP 6.1 Support master planned developments and master development agreements.~~

~~SIP 6.1.1 Require developers to prepare development standards handbooks for all residential, commercial and restricted industrial/business park projects which outline architectural guidelines and performance standards in accordance with the policies in this plan.~~

~~SIP 6.1.2 Encourage the creation of a separate community identity for the area.~~

~~SIP 6.2 Encourage a mix of land uses and densities to promote a balanced community with residential, commercial, through architectural guidelines, signage and development standards restricted industrial, business and recreational.~~

~~SIP 6.2.2 Prohibit strip commercial development. Support nodded of commercial development around the intersections of major arterials.~~

~~SIP 6.3.3 Require buffer between residential and non-residential uses.~~

~~SIP 6.4 Require walls or fences backing streets to be offset with the landscaping and/or meandering pathways to provide visual relief.~~

~~SIP 6.5 Encourage variations in building setback lines to promote visual relief.~~

~~SIP 6.6 Establish criteria for signage.~~

~~SIP 6.7 Prohibit off premises signs.~~

~~SIP 6.8 Building heights shall be reviewed and approved through the City's development review process. The general intent is for structures to be two stories in height excluding basements.~~

~~SIP 6.9 Encourage the City of Sparks to monitor development in the Sphere of Influence to ensure population and employment guidelines are met.~~

~~SIP 6.9.1 The City of Sparks should monitor building permit activity in the Sphere of Influence Planning Area regarding existing population and employment guidelines.~~

~~The Design Standards Handbook provides for a mixed-use development with a unique visual character established through architecture and signage. The project will provide a large, regional based, node of retail service and office uses. The design standards provide buffers to minimize impacts between differing land use. The standards control vehicular access to major roadways while creating landscaped pedestrian corridors along them.~~

Transportation

~~SIP 7.1 Require property owners/developers to dedicate right of way for the ultimate widths of streets within the planning area. At proposed area plan buildout, as outline on Plate 6.~~

~~SIP 7.1.1 Support the use of alternative street sections with medians, bike lanes and pathways as outlined on Plate 17.~~

~~SIP 7.2 Encourage the use of design features to support the use of public transportation.~~

~~SIP 7.2.1 Encourage higher density development along transit routes.~~

~~SIP 7.2.2 Support designated park and ride lots in or adjacent to commercial areas.~~

~~SIP 7.3 Prohibit direct access onto major arterial, limit turning movements through the use of raised medians, acceleration and deceleration lanes, signals etc. Prohibit curb parking on arterials and collectors.~~

~~SIP 7.3.1 Require the use of joint driveways for commercial and other non residential developments where feasible. Maintain adequate driveways separation spacing to at least 235 feet from other driveways and intersections.~~

~~SIP 7.3.2 Limit the number of signals allowed on arterial streets and encourage intersection spacing to be ¼ mile or greater.~~

~~SIP 7.4 Encourage curvilinear street designs to fit with topographic constraints.~~

~~The Design Standards provide for the development of Kiley Ranch/ Pace/Lazy 5 Parkway or a designated arterial on the RTC Capital Improvements Plan. The RTC access management standards are to be utilized in the final design for this arterial. Landscape corridors, on both sides, will provide a pleasant pedestrian environment, separated from the roadway, while establishing a unique frontage image for~~

~~the project, with landscaped medians, entry monument signage and a consistent, unified signage program for the entire project.~~

Financing

~~SIP 9.1 Develop a detailed financing plan and establish a mechanism for fee collection, credit provisions and reimbursement potential based on the Improvement Cost Sharing Financing Plan outline in this plan. Plan to consider financing for roads, sanitary sewer, parks, public facilities water storm drainage and gas and electric.~~

~~This project will participate in the City of Sparks Impact Fee District Number One financing program.~~

B. Planned Development Findings

~~PD1 The Plan is/is not consistent with the objectives of furthering the public health, safety, morals, and general welfare by providing/not providing for housing of all types and design.~~

~~The plan provides for a wide range of family types, densities and life style options.~~

~~PD2 The plan is/is not consistent with the objective of furthering the public health, safety, morals, and general welfare by providing/not providing for necessary commercial and industrial facilities conveniently located to the housing.~~

~~The plan is consistent with the above criteria by fulfilling the communities' need for business park and commercial facilities in the Spanish Springs area.~~

~~PD3 The plan is/is not consistent with the objective of furthering the public health, safety, morals, and general welfare by providing/not providing for the more efficient use of land and public or private services.~~

~~The plan is consistent with the above criteria by providing a higher intensity of land use to support a job/housing balance and a reverse commute to efficiently utilize roadway capacities.~~

~~PD4 The plan is/is not consistent with the objective of furthering the public health, safety, morals, and general welfare by providing/not providing for changes in technology of land development so that resulting economies may be available to those in need of homes.~~

~~The plan is consistent with the above criteria by providing for a unique higher density housing design and lifestyle options, thereby reducing costs to the future home buyers.~~

~~PD5 The plan is/is not consistent with the furthering the public health, safety, morals, and general welfare by providing/not providing for flexibility of substantive regulations over land development so that proposals for land development are disposed of without undue delay.~~

~~The plan is consistent with the above criteria by providing for a Site Plan Review process that reduces paperwork, shortens time lines for review of commercial portions of the project, thereby reducing delays in construction of the retail, commercial, and business park portions of the project.~~

~~PD6 The plan does/does not depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are/are not in the public interest for density.~~

~~The plan does not depart from the zoning and subdivision regulations in terms of density.~~

~~PD7 The plan does/does not depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are/are not in the interest for bulk.~~

~~The plan does not depart from the zoning and subdivision regulations in terms of bulk.~~

~~PD8 The plan does/does not depart from zoning and subdivision regulations otherwise applicable to the property, and these departures are/are not in the public interest for use.~~

~~The plan does not depart from the zoning and subdivision regulations in terms of use.~~

~~PD9 The ratio of residential to nonresidential use in the planned development is:~~

~~Eight (8) percent Retail, Commercial, six (6) percent Business Park, fifty-seven (57) percent Residential and twenty-seven (27) percent Open Space.~~

~~PD10 Common open space in the planned development exists for what purpose, is located where within the project, and comprises how many acres (or what percentage of the development site taken as a whole).~~

~~The project common open space exists for the use of the residents of the homes and visitors to the commercial facilities. The common open space comprises approximately 165 acres or 27 percent of the site.~~

~~PD11 The plan does/does not provide for the maintenance and conservation of the common open space by what method.~~

~~The common open space will be maintained by the Owners Association, Homeowners Association or a Lighting Landscaping Maintenance District~~

~~PD12 Given the plan's proposed density and type of residential development, the amount and/or purpose of the common open space is determined to be adequate/inadequate.~~

~~The proposed density of the project is low to moderate with adequate open space a recreational opportunities to serve the number of residences proposed for the neighborhood.~~

~~PD13 The plan does/does not provide for public services. If the plan provides for public services, then these provisions are/will not adequate.~~

~~The plan does provide for adequate public services by the construction of water system, sewer system, and storm drainage system improvements.~~

~~PD14 The plan does/does not provide control over vehicular traffic.~~

~~The plan provides for control over vehicular traffic with the extension of Kiley Ranch Parkway/Pace/Lazy 5 Parkway. Controlled access to Kiley Ranch Parkway/Pace/Lazy 5 Parkway from the proposed development will be provided.~~

~~PD15 The plan does/does not provide for the furtherance of access to light, air, recreation and visual enjoyment.~~

~~The plan provides for access to light, air, recreation and visual enjoyment by providing centralized open space along the Drainageway Detention Area and regional trail link, along the Orr Ditch.~~

~~PD16 The relationship of the proposed development to the neighborhood in which it is proposed to be established is/is not beneficial.~~

~~The relationship to the neighborhood is beneficial based on the location of the development adjacent to Pyramid Highway and within the Spanish Springs area where services are needed.~~

~~PD17 To the extent the plan proposed development over a number of years, the terms and conditions intended to protect the interests of the public, residences and owners of the planned development in the integrity of the plan are/are not sufficient.~~

~~The planned development time line is relatively short, less than 10 years. The integrity of the plan can be maintained to protect the interest of the public, residents and owners, given the short development time line.~~

~~PD18 The project as submitted and conditioned, is consistent with the City of Sparks Master Plan.~~

~~The project will be consistent with the City of Sparks Master Plan.~~

~~PD19 The project is consistent with the surrounding existing land uses.~~

~~The project is consistent with the surrounding existing land uses with commercial development adjacent to a major roadway, (Pyramid Highway) to the west and the residential adjacent to existing and planned residential to the east.~~

~~PD20 Public notice was given and a public hearing per the requirements of the Sparks Municipal Code.~~

CHAPTER 3 – SITE DESIGN

3.1 Objective

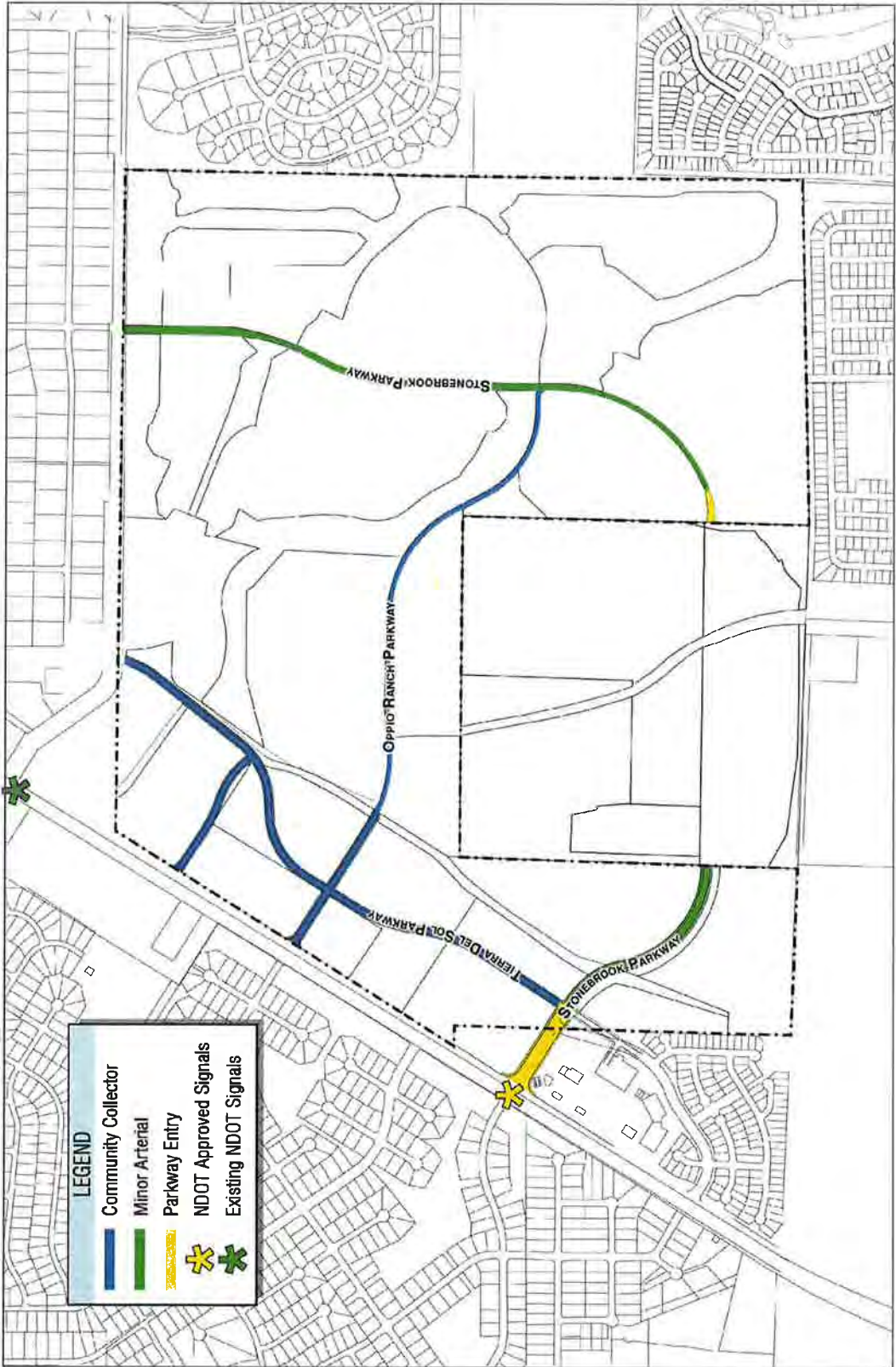
- 3.1.1 The objective of the Site Design criteria is to provide general standards to both the Developer and the design professional in the planning, design and implementation of the infrastructure components servicing Stonebrook, ultimately achieving a safe and efficient community environment.

3.2 Streets

- 3.2.1 The performance objective of the street network within Stonebrook is designed to provide for the logical, safe, orderly and efficient movement of vehicular traffic generated from within and beyond the Development boundaries in a pleasant neighborhood environment. The hierarchy of these roadways have been planned to accommodate the future growth of the area in and around Stonebrook. These standards are expected to provide satisfactory levels of service well into the future and accommodate potential mass transit service to the community. See **Exhibit 3-1** Access and Circulation Plan.

- Four Lane Arterial – shall be situated in a 74' right-of-way and consist of four 12' travel lanes with two adjoining 5' bike lanes with 5' meandering sidewalks at each side and a 20' landscape area. No direct residential access or on-street parking is permitted. See **Exhibit 3-2** Two Arterial Street Cross Section.
- Two Lane Arterial – shall be situated in a 38' right-of-way and consist of two 12' travel lanes with two adjoining 5' bike lanes with 5' meandering sidewalks at each side and a 20' landscape area. No direct residential access or on-street parking is permitted. See **Exhibit 3-3** Two Arterial Street Cross Section.

**Exhibit 3-1
Access & Circulation Plan**



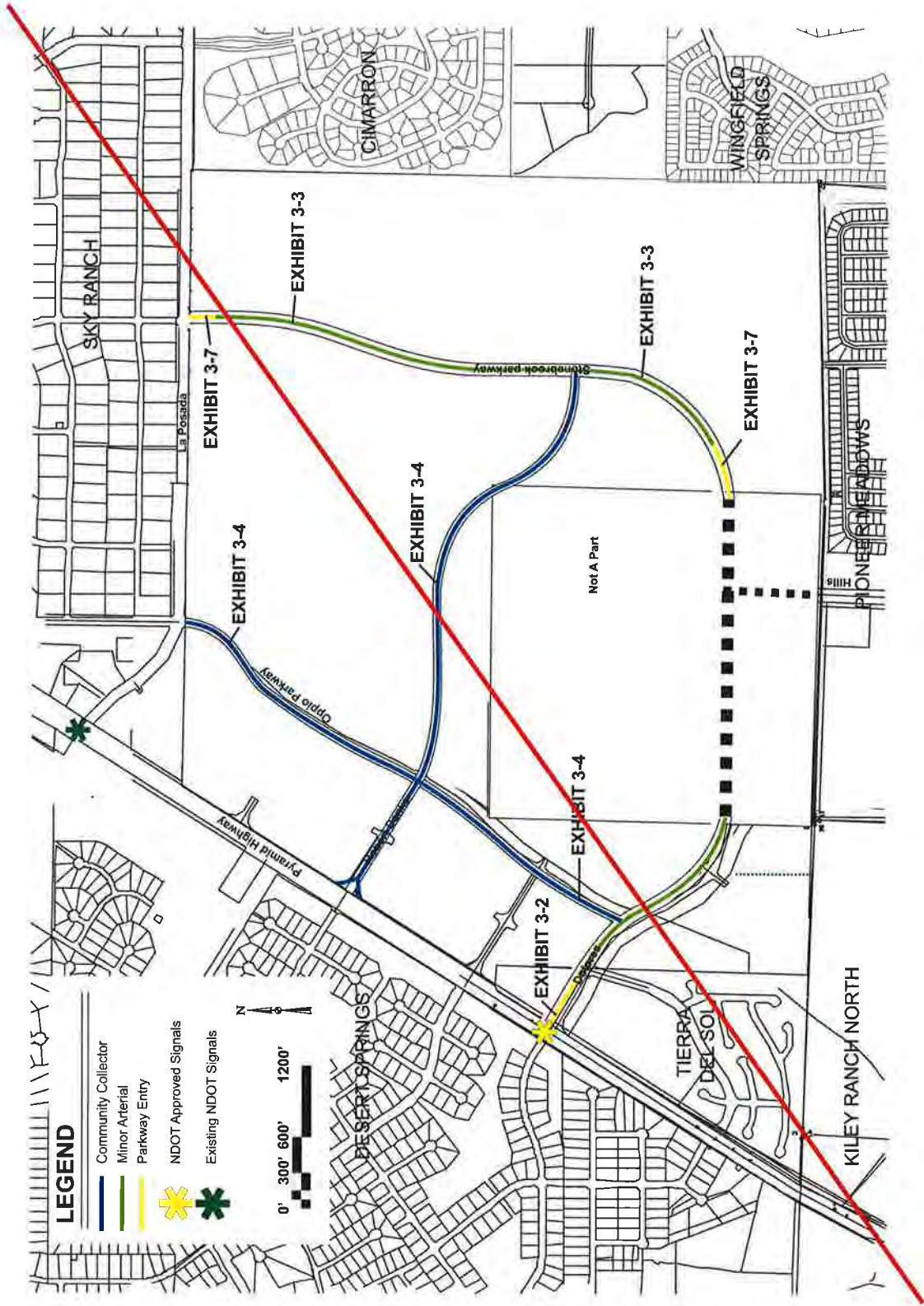
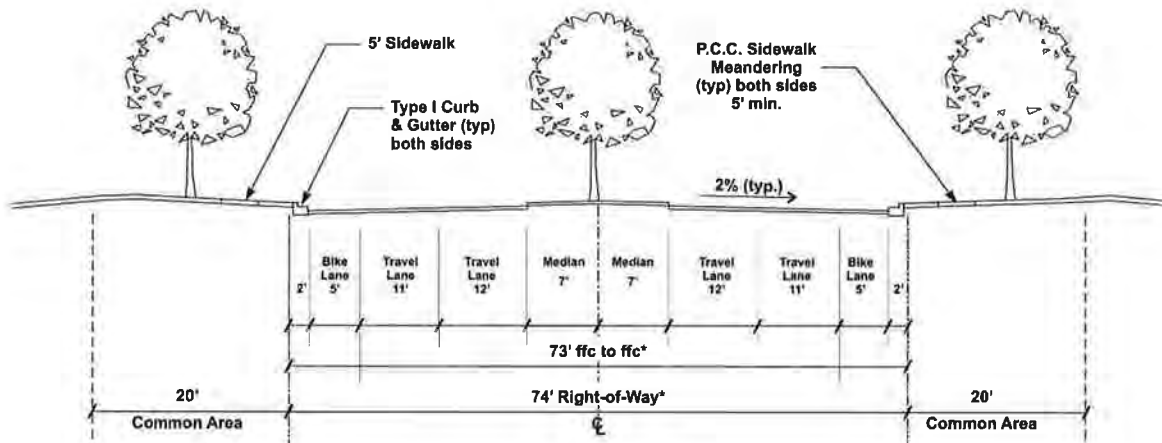
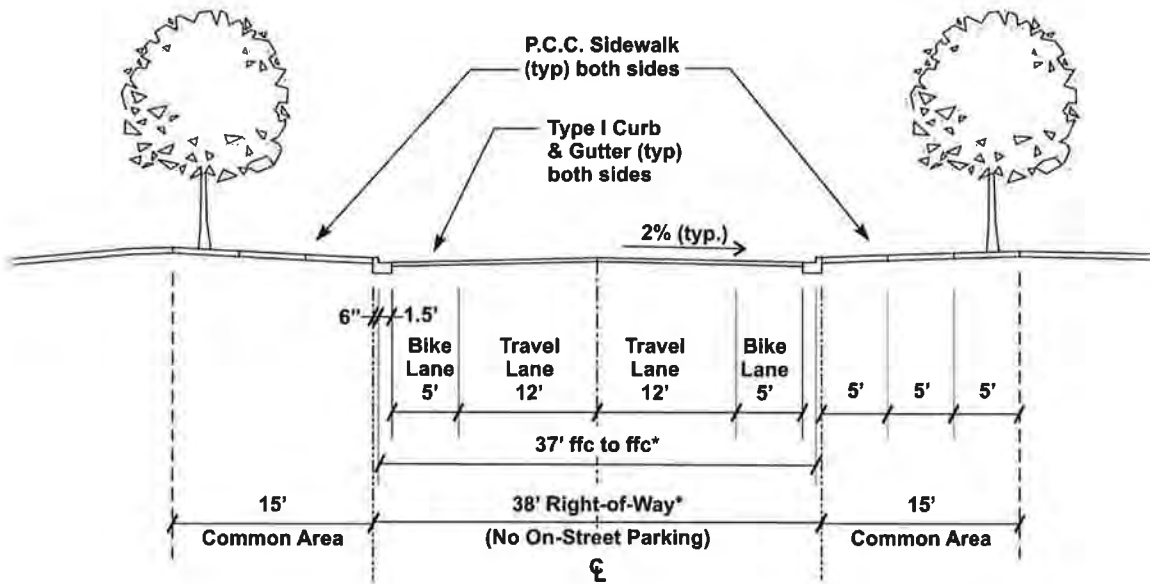


Exhibit 3-2 Four Lane Arterial Street Cross Section



- Without Left Turn Lane
- Landscape Areas depicted along and within ROW to be installed at the time of roadway construction per the standards of the Landscape Section, Chapter 10, and shall be maintained by Stonebrook Maintenance Association.
- No direct residential access or on-street parking allowed.

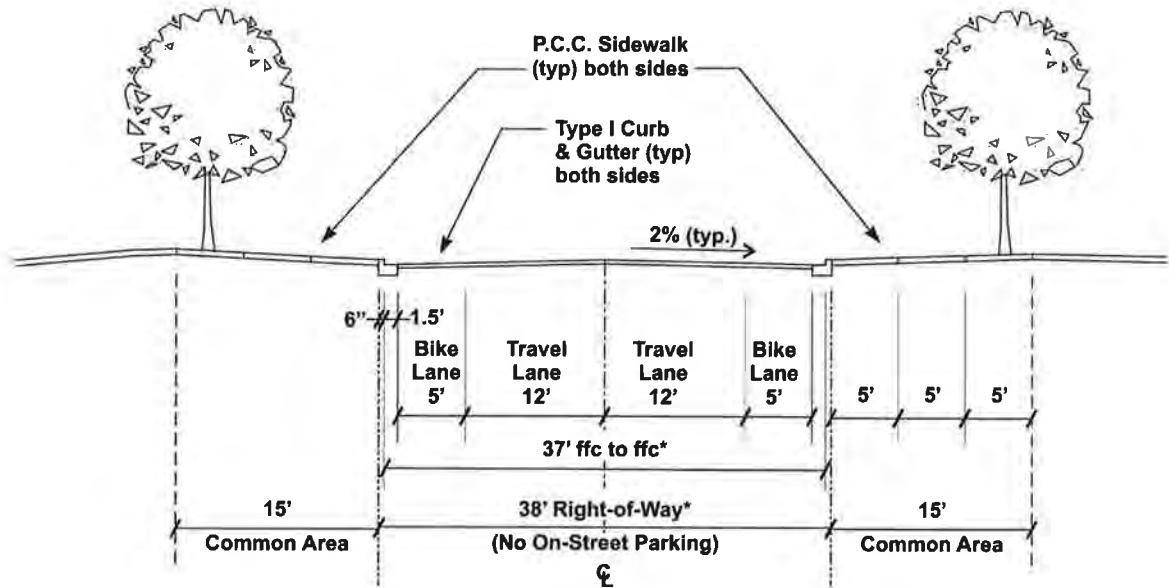
Exhibit 3-3 Two Lane Arterial Street Cross Section



* without left turn lane

- Landscape Areas depicted along and within ROW to be installed at the time of roadway construction per the standards of the Landscape Section, Chapter 10, and shall be maintained by Stonebrook Maintenance Association.
- No direct residential access or on-street parking allowed.

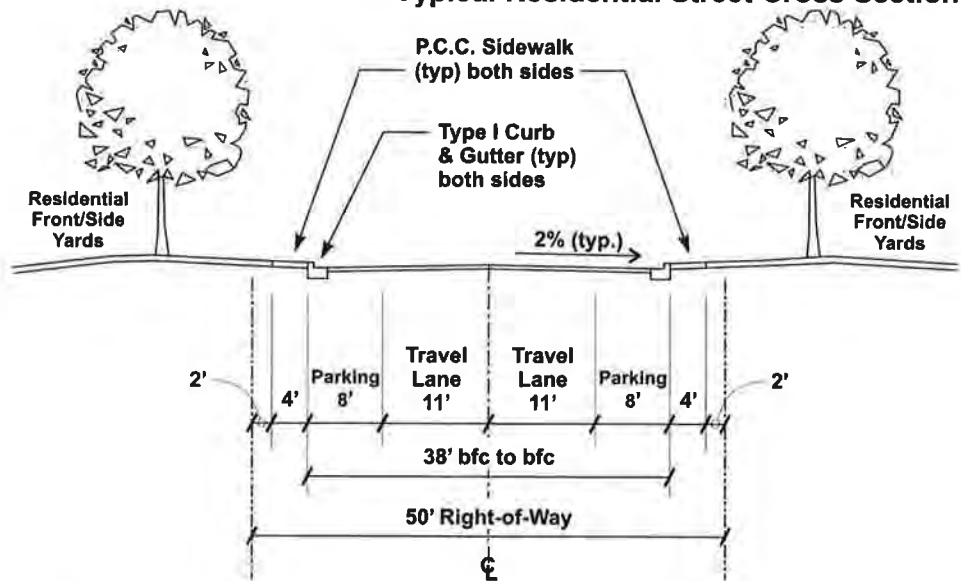
**Exhibit 3-4
Community Collector Street Cross Section**



*** without left turn lane**

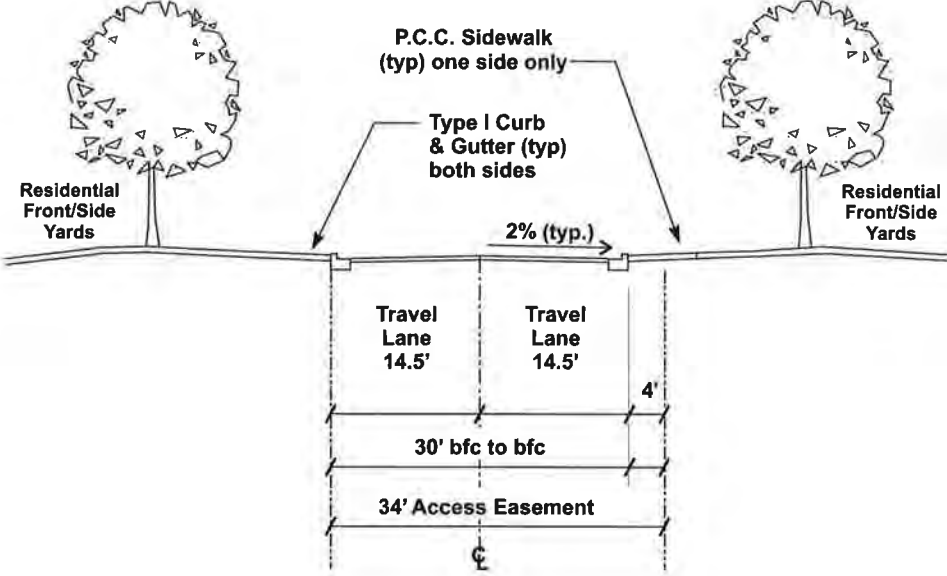
- Landscape Areas depicted along and within ROW to be installed at the time of roadway construction per the standards of the Landscape Section, Chapter 10, and shall be maintained by Stonebrook Maintenance Association.
- No direct residential access or on-street parking allowed.
- Oppio Parkway shall include a continuous center left turn lane.

**Exhibit 3-5
Typical Residential Street Cross Section**

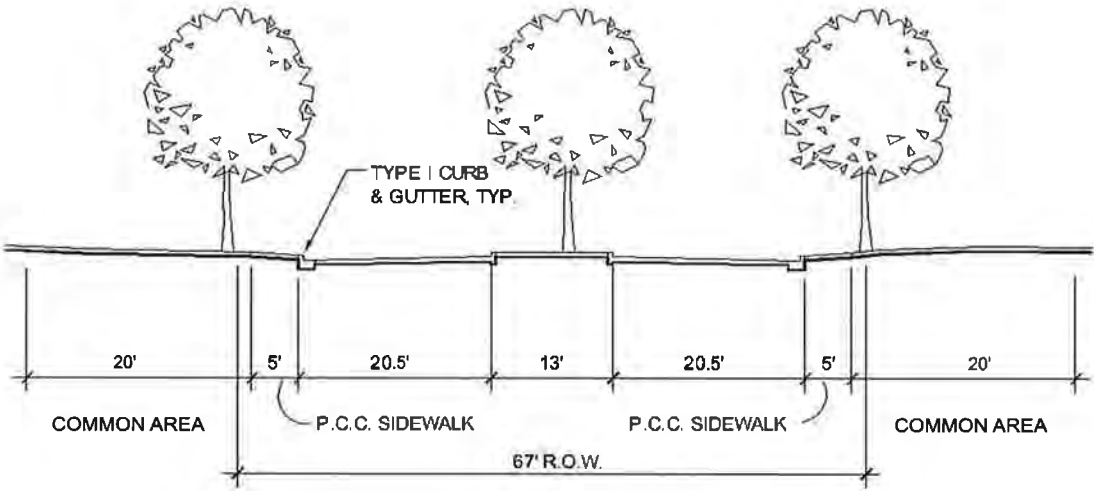


- Residential front/side yards to commence from back of walk and be maintained by individual homeowners.

**Exhibit 3-6
Private Street Cross Section**



**Exhibit 3-7
Parkway Entry Street Cross Section**



- *Landscape Areas depicted along and within ROW to be installed at the time of roadway construction per the standards of the Landscape Section, Chapter 10, and shall be maintained by Stonebrook Maintenance Association.*
- *No direct residential access or on-street parking allowed.*

- Community Collector Street - shall be situated in a 38' right-of-way and consist of two 12' travel lanes with 2 adjoining bike lanes and a 5' landscape strip, 5' sidewalk and 5' landscape strip on both sides. No on street parking shall be allowed. No direct residential access is permitted. See **Exhibit 3-4** Community Collector Street Cross Section.
- Parkway Entry shall be constructed in a 67' right-of-way, and consist of two 20.5' travel lanes which include two 5' bike lanes separated by a 13' landscaped median. There shall be a 5' sidewalk on both sides and a 20' landscape area abutting the sidewalks. No direct residential access or on-street parking shall be allowed. See **Exhibit 3-7** Parkway Entry Street Cross Section.

3.2.3 All of the above street cross sections shall provide landscape areas on both sides of the right-of-way and shall be installed at the time of roadway construction per the standards of the landscaping section (Chapter 10). Maintenance of the sidewalks shall be the responsibility of the city and a public access easement over the sidewalks shall be granted to the city prior to approval of a final map for the subdivisions. Maintenance of the landscape strip or medians shall be the responsibility of the Homeowners or Owner's Association.

- Local Residential Street - shall be situated in a 50' right-of-way with 4' sidewalks abutting curbs. See **Exhibit 3-5** Typical Residential Street Cross Section.
- Private Residential Street - shall be situated in a 30' access and utility easement with a 4' sidewalk abutting curb on one side only. At the time of Tentative Map review, sidewalks may be required on both sides to provide required pedestrian access. See **Exhibit 3-6** Typical Private Street Cross Section.

3.2.4 All sidewalks within public right of ways and private landscaped areas (common areas) adjacent to public right-of-ways shall be constructed of Portland Cement Concrete.

3.3 Paths, Trails, Sidewalks, and Open Space Improvements

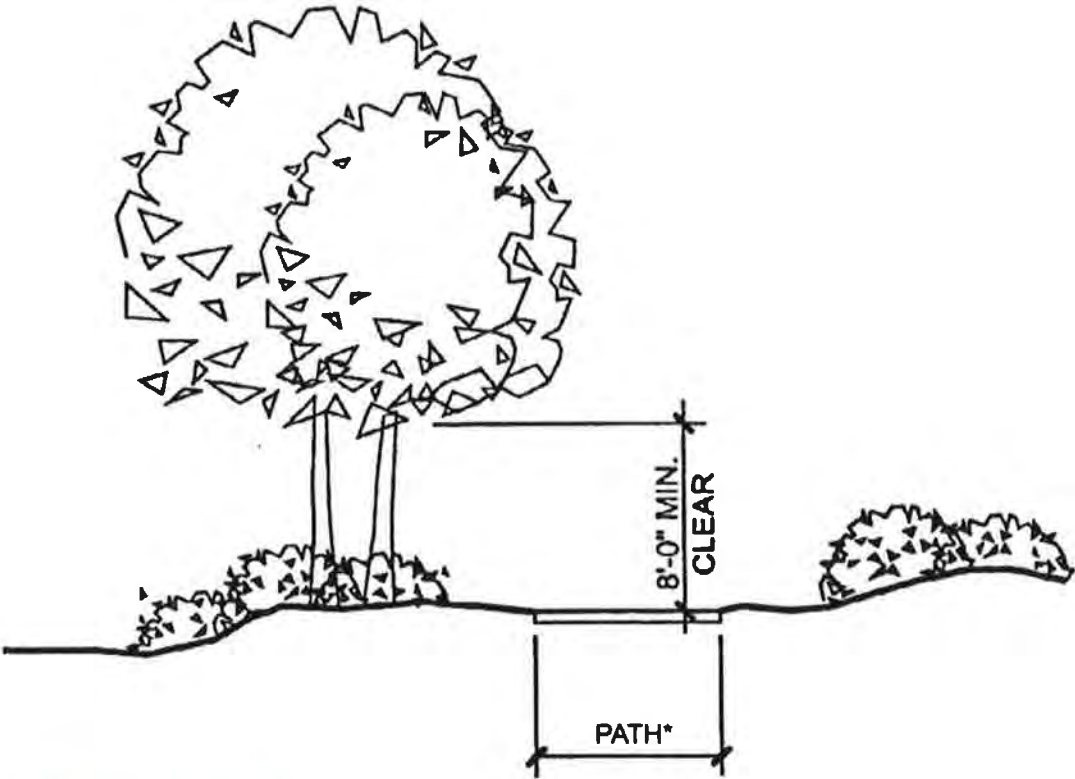
3.3.1 Open space improvements will be constructed by the master developer concurrent with the improvements within the phase, or adjacent to the phase, of development when it occurs. ~~Refer to Exhibit 1-7.~~ Regional trails and or development paths within the non-residential land uses shall commence construction upon the issuance of the initial building permit within the phase in which it occurs. See Phasing Plan in Chapter 1, Section 1.4.2, Page 1-15. Refer to **Exhibits 3-6 and 3-7** Trail and Pathway System. For clarity purposes, no sidewalks are depicted on **Exhibit 3-6**, however all sidewalks shall be located per the standards listed in Section 3.2. Sidewalks abutting public right-of-ways provide inter-connects to the Trails and Pathways from individual villages. The developer shall offer for dedication to the City all designated Regional Trail Facilities.

Exhibit 3-6
Stonebrook Trail and Pathway System





**Exhibit 3-7
Trail and Pathway Cross Section**



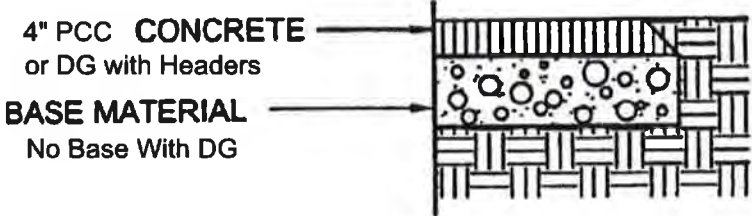
Regional Trail 10'

Surface Materials:

- 1) 6" PCC with Fibers for light truck traffic on 4" Type II Aggregate Base**
- 2) 6" PCC with Rebar for heavy truck traffic (i.e. – Vector Truck) on 4" Type II Aggregate Base**

DEVELOPMENT PATHWAY SURFACE MATERIALS

DEVELOPMENT PATHWAY 5' CONCRETE, OR 8' DG WITH HEADERS



3.4 Drainage

3.4.1 Planning and design objectives of the storm drainage systems within Stonebrook is to provide safe and efficient conveyance of storm waters into public drainage facilities, open spaces, and landscape amenities. The design of these facilities shall be in general conformance with the following standards and requirements:

- City of Sparks Hydrologic Criteria and Drainage Design Manual
- Nevada Department of Environmental Protection/Stormwater Discharge Standards
- Stonebrook Flood Control Master Plan (See Appendices)
- Spanish Springs Master Storm Drainage Plan

3.4.2 The developers shall provide a hydrologic and hydraulic report for each Final Map, Parcel Map and/or civil improvement plans that demonstrates compliance with the approved master hydrology plan. The reports shall be prepared by a professional engineer licensed in the state of Nevada and shall be prepared to the approval of the Public Works Director.

3.5 Grading

3.5.1 The planning and design objectives of the on-site grading is to create effective landforms to accommodate the proposed development of individual parcels and the integration and continuity to adjacent parcels. This is to encourage the design professional to utilize land forming as a specific design and landscape element.

3.5.2 Grading plans shall demonstrate and include the following:

- Phasing
- Structure placement/orientation (non-residential only)
- Onsite drainage patterns/swales
- One-foot contour intervals (existing and proposed)
- All slopes 2:1 with erosion control or less
- Transitions into open spaces, drainage ways, trail systems, and adjoining properties
- Erosion control plan and Storm Water Prevention Plan (SWPPP) to the approval of the Public Works Director

3.5.3 The performance criteria for grading operations shall be in strict accordance with the following:

- Diligently and continuously performed to affect the earliest completion.
- Maintain dust control 7 days a week, 24 hours a day in strict accordance with Washoe County Health Department requirements.
- Assure adjoining streets remain free of debris generated from this work.
- Revegetation of disturbed areas will be timely performed to the satisfaction of Nevada Department of Environmental Protection (NDEP), the Public Works Director, Parks and Recreation Director and Administrator.

- 3.5.4 The Developer shall submit a grading and drainage plan for the project to the approval of the Engineering Services Manager of Community Development prior to the issuance of a grading permit for any phase of the project.
- 3.5.5 All rockery walls shall be limited to a maximum active height of six (6) feet. Terraced rockery walls shall have a minimum horizontal setback of six (6) feet and maximum slopes of 3 horizontal to 1 vertical between rockeries. A separate building permit shall be required for rockery walls. All rockery walls shall be designed and sealed by a Professional Engineer licensed in the State of Nevada.

3.6 Utilities

- 3.6.1 The design objective for utilities is to integrate utility structures in a visually unobtrusive manner with the surrounding architecture and landscaping. All utilities shall be placed underground in accordance with the City's Engineering Standards and the current construction specifications of the applicable utility entity. All sanitary sewer and storm drain works shall be located within dedicated Right of Ways or within landscaped common areas. The open spaces may be used for utility easements or corridors. All appurtenances (boxes, pads, etc) shall be constructed in such a way as to maintain the design slope of the adjacent paths and walks or landscaping in order to ensure positive drainage.

CHAPTER 4 SINGLE FAMILY LDR RESIDENTIAL

4.1 Land Use Designations, Permitted Uses, Lot Size & Setbacks

4.1.1 Land Use Designations:
LDR Low Density Residential - 4 d.u./acre

4.1.2 Residential Permitted Uses:

Table 4-1: Residential Permitted Uses

RESIDENTIAL USES	LDR
Child Day Care, In Home – Per Washoe County Health regulations	A
Detached Accessory Structure	A
Model Home Facilities (<i>per 4.4.1</i>)	A
Single Family Detached	A
Temp. Sales/Const. Office/Yard (<i>per 4.4.1</i>)	A
Active Adult Communities with recreational amenities such as club house, pool, exercise area, tennis etc,	A

A = Permitted Use

4.1.3 Residential Lot Sizes:

Table 4-2: Lot Sizes

LOT SIZES	LDR
Interior Lots Minimum (Square Feet)	6,000
Corner Lots Minimum (Square Feet)	6,500
Lot Width Minimum (at building setback line)	60'
Lot Depth Minimum	100'
Lot Frontage Minimum	35'

Note: Lot size shall take precedence over minimum lot dimensions.
All minimum widths and depths depicted shall be the average per lot.

- Any standards not specifically addressed herein shall comply with applicable City of Sparks Municipal Code.

4.1.4 Minimum Setback Requirements

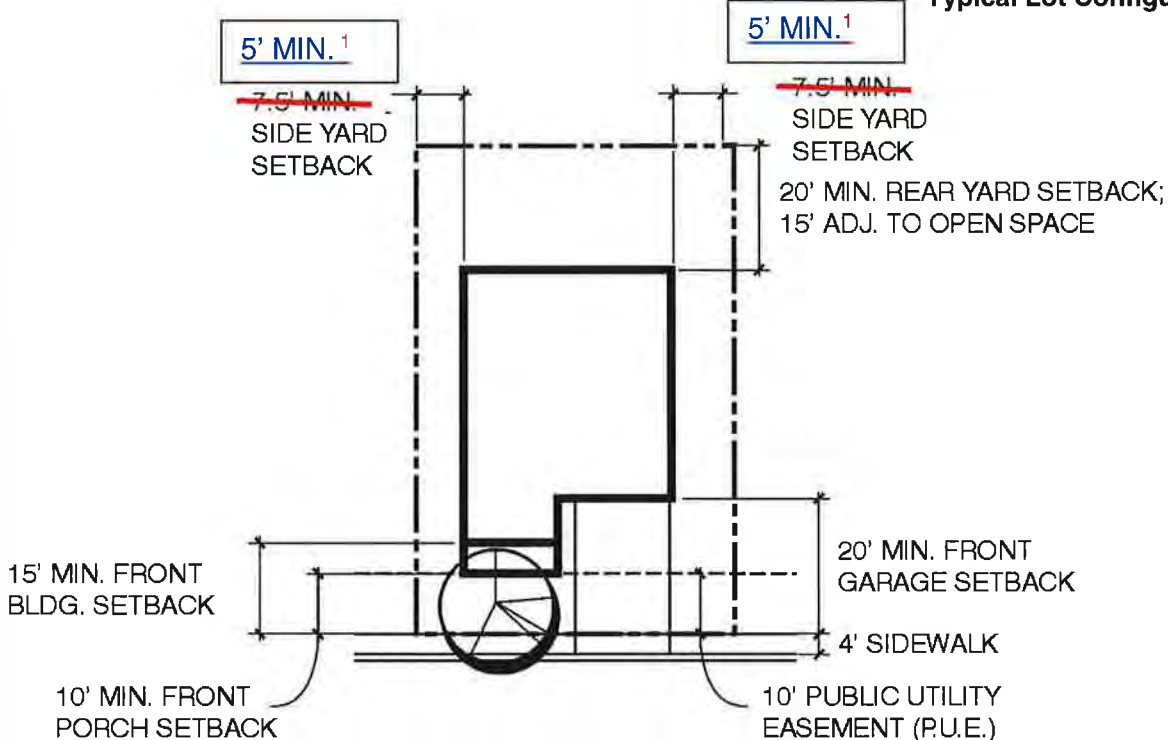
Table 4-3: Minimum Setback Requirements

Planned Dev.	Front ²			Side ^{1&2}		Rear	Open Space
	Garage	House or side loaded garage	Porch	Interior	Corner		
Low Density (LDR)	20'	15'	10'	7.5'5'	15'	20'	15'

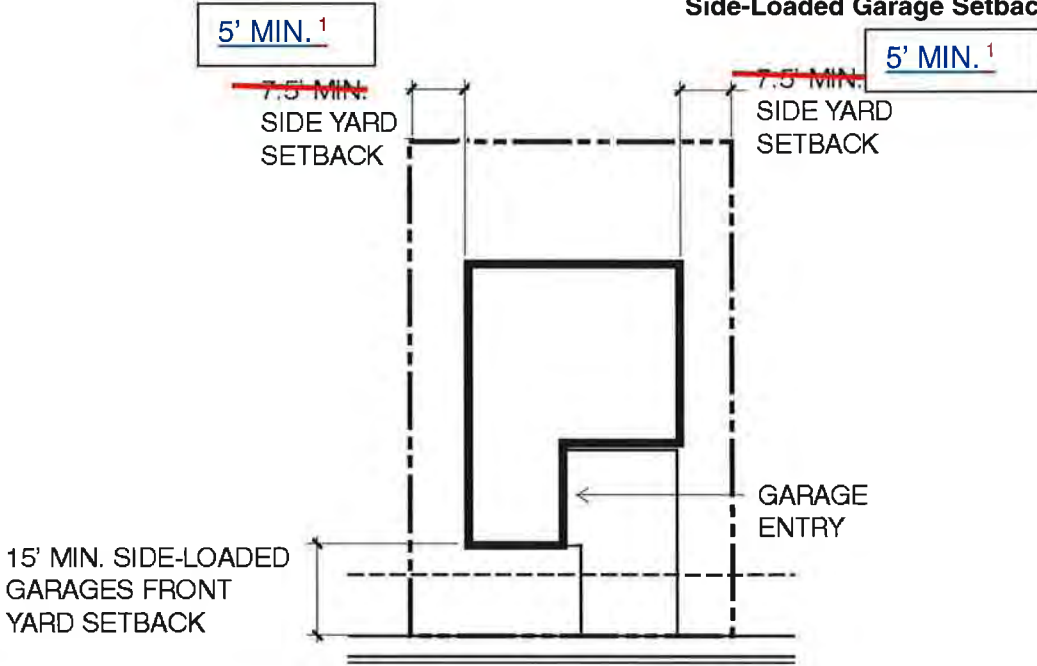
1. Minimum 15' side separation between any adjoining main structures shall be maintained. Bay windows, media bays, chimneys, etc., projecting from the main structure may extend a maximum of 2' into the stipulated setback, not to exceed 120 sq. ft.
2. Refer to **Exhibit 4-Setbacks**

Any standards not specifically addressed herein shall comply with applicable City of Sparks Municipal Code. Single family detached structures may be a 2-story unit with a maximum height per Sparks Municipal Code.

**Exhibit 4-1 Setbacks
Typical Lot Configuration**



**Exhibit 4-2 Setbacks
Side-Loaded Garage Setback**



¹ Note: Side yards shall maintain minimum 15' separation between adjoining main structures.

4.2 Residential Site/Design

- 4.2.1 The objectives of this section are to outline minimum design and building standards for homes and lots which are to be constructed throughout the different villages in Stonebrook ensuring neighborhood cohesiveness.
- 4.2.2 Garages shall be setback a minimum of 20' from property line to permit unimpeded pedestrian access when vehicles are parked in driveways. Side entry garages shall meet minimum house setbacks while providing a minimum 20' of on site parking spaces.
- 4.2.3 Garages facing streets shall be integrated into the design such that they do not present themselves as the predominate element of the front elevation of a structure and shall not exceed more than 50% of the front elevation in LDR land uses.
- 4.2.4 Three car or more garages in a single plane will not be allowed. In this instance, recessing at least one garage a minimum of 2 feet is necessary. Detached and tandem garages shall be proportionate (i.e. the same square footage as a standard attached garage) to the main structure and shall meet all setbacks.
- 4.2.5 All driveways, lead-walks and front yard porches/patios shall be constructed of a minimum of 4" poured in place Portland Cement Concrete (PCC) or pre-cast concrete traffic rated pavers and not exceed 12% slope. All driveway widths shall be at a minimum equal to the width of the garage and intersect local streets at a 90-degree angle. If patterns or colors are proposed for these components they shall be identified and approved by the SAC.

4.3 Architectural Standards

- 4.3.1 Exterior elevations shall demonstrate a unified appearance. The architectural character of the individual dwellings (i.e. window trims, cornices, arches, etc.) shall be utilized on all elevations of the structure. The following conceptual illustrations define the unified appearance required. Refer to **Exhibits 4-3 to 4-7b**.
- 4.3.2 Building facades (all sides) shall be articulated by using color arrangement, or change in materials to emphasize the façade elements. Design elements and detailing shall be continued completely around the structure. Such design elements shall include window treatments; trim detailing, and exterior wall materials. Refer to **Exhibits 4-3 to 4-7b**.
- 4.3.3 Trim and detail work on garages shall be consistent with that of the main structure.
- 4.3.4 Once an architectural style has been developed within a village, it shall apply to all buildings/structures within that village.
- 4.3.5 The main entrance shall have a sense of prominence that is reflected in the design. It shall include either a pair of doors with or without sidelights, an oversized door, or a single door with sidelights. The main entrance shall contain more detail and scale than other openings but be consistent in styling. Refer to **Exhibits 4-3 to 4-7b**.
- 4.3.6 The exterior finish of window frames and doors shall be made of wood, vinyl, vinyl-clad wood, or vinyl-clad aluminum. Glazing shall be clear, gray, or bronze tinted only. Reflective glass will not be allowed.
- 4.3.7 All exterior windows and doors, regardless of final material selection, shall utilize trim. Refer to **Exhibits 4-3 to 4-7b**.
- 4.3.8 Exterior materials shall be selected for their durability and ease of maintenance.

- 4.3.9 Accent materials such as stone and brick wainscoting shall be used on a minimum of 50% of the homes but must wrap the sides of the house a minimum of 2' and stop at a typical break point.
- 4.3.10 The use of plywood, sheet siding, or manufactured sheet siding is prohibited
- 4.3.11 All exterior siding materials are subject to review and approval by the SAC and Administrator and shall be submitted at the time of Tentative Map submission.
- 4.3.12 Renderings depicting colored exterior elevations (all sides) and conceptual floor plans shall be submitted to the SAC and Administrator at the time of Tentative Map submission. Refer to **Exhibits 4-3 to 4-7b**.
- 4.3.13 Exterior colors shall be of an earth tone/natural palette, complementary with the natural surroundings inherent to Stonebrook. No primary colors will be allowed. The amount of colors permitted on a single residence shall be limited to a maximum of 4 colors; base, trim, accent 1 and accent 2. A fifth color may be permitted only in the instance of an attached appurtenance, i.e. porches in white will be allowed. Specific sample color palettes for body, trim and accent colors shall be submitted to the SAC, for review and approval prior to submittal and approval by the City. Color Palette shall be submitted at the time of Tentative Map submission. Refer to **Exhibits 5.2-7 and 5.2-8**.
- 4.3.14 All vents, gutters, downspouts, flashings, electrical conduits, etc., shall be painted to match the color of the surface to which it is attached. Refer to **Exhibits 4-1 to 4-7b**.
- 4.3.15 No flat roofs shall be permitted within the residential portions of Stonebrook. Roofs shall be designed in direct scale and proportion to the structure. Roof massing shall be reviewed and approved by the SAC and Administrator.
- 4.3.16 Hip, gable, and shed roofs are all required roof forms. Roof slopes shall have a minimum of four feet and a maximum of ten feet of vertical rise for every 12 feet of horizontal run. Refer to **Exhibits 4-3 to 4-7b**.
- 4.3.17 Roof materials shall be comprised of non-flammable, non-reflective, color treated materials. All roofs must be, at a minimum, rated Class A Fire Retardant or Better.
- 4.3.18 Roof materials shall be concrete or clay tiles, non-reflective color treated metal roofing, which mimics shake or slate roofing, or 40-year architectural grade composition shingles. All proposed roofing material should have the approval of the SAC and Administrator.
- 4.3.19 Roof material shall be submitted for review at the time of Tentative Map submission.
- 4.3.20 No roof mounted mechanical equipment, antenna or appurtenances shall be permitted. One satellite dish per structure may be permitted, provided the dish is 18" in diameter or less and mounted discretely, to the approval and enforced by the SAC, on an eave or soffit to maximize screening.
- 4.3.21 Detached accessory structures (i.e. sheds, detached garages, etc.) on any lot shall be constructed of the same materials and employ the same design as used on the main structure on the lot.
- 4.3.22 All house addresses shall be clearly readable from public right of ways.
- 4.3.23 All exterior mounted light fixtures shall be complementary to the design of the structure they serve and must consider the following minimum guidelines:

- Direct light source must be concealed from typical lines of sight, (i.e. vehicular, and pedestrian)
 - Exterior mounted lights shall not exceed 12' in height
- 4.3.24 A minimum of 50% of the homes shall have 6' deep covered porches as depicted in Exhibit 4-3 through 4-7b provided they meet the required setbacks.
- 4.3.25 Exhibit 4-3 through 4-7b depicts detail elements (such as shutters, chimneys, porch columns with bases end caps, horizontal boards etc.) which shall be included in the residential design of the homes, where applicable to the architectural style.
- 4.3.26 All residential parcels shall contain a variety of architectural styles that shall be specified with each Tentative Map Submittal. The styles such as Craftsman, French, Spanish, Farm House etc. shall contain basic elements that reflect the style such as:

Craftsman: (Refer to Conceptual Illustration **Exhibit 4-3, 4-4, 4-7**)

Basic Elements:

- Gable roofs with deep overhangs.
- Expressive structural elements such as rafters, brackets and columns.
- A mixture of materials such as stone, shingles and siding
- Porches with distinctive pier column combinations
- Window sizes shall conform to the architectural style

Building Mass and Roofs:

- Gabled roofs with a pitch range from 4 in 12 to 6 in 12 for the main roof.
- Wings which project from the main mass and receive independent roof forms
- Roof materials of concrete or clay tile, 40-year composition asphalt shingles or slate.

Building Articulation:

- Large, detailed eave projections with exposed rafter tails
- Gable roof projections may be supported by braces or extended beams
- Broad porches encompassing the majority of the house front
- The gable roof on porches parallel to the roof of the main structure
- The detailing of porches showing variety, such as short square columns that rest on massive piers, battered columns or solid balustrades.
- Railings have square balusters or turned spindles

Doors and Windows

- Doors paneled or contain a combination of paneled and glazed elements, and entries usually occur singularly
- Doors have sidelights and transoms. The door trim surround consistent with the window trim.
- Windows and doors that have trim caps, brackets or other details over the window head
- Box and angled bay windows used as accents
- Double hung windows with multiple panes over one divisions
- Casements windows used as specialty windows
- Windows either flat, half-round or segmental arched tops
- Windows and doors shall conform to the architectural style

Materials and Colors

- Walls clad with stone, brick, stucco, wood siding, or plain shingles

Farmhouse: (Refer to Conceptual Illustration **Exhibit 4-5, 4-6**)

Basic Elements

- Variable pitched roofs with moderate overhangs
- Expressive structural elements such as rafters, brackets and columns
- A mixture of materials such as stone, stucco and wood siding
- Porches incorporating heavy timber columns with knee braces
- Window sizes shall conform to the architectural style

Building Mass and Roofs

- Roofs gabled with a pitch range from 3 in 12 to 9 in 12 for the main roof
- Roofs simple gable, hipped or gambrel forms often with dormers
- Roof materials to be 40-year composition asphalt shingles, concrete tile or clay tile

Building Articulation

- Simple eave projections with trimmed rafter tails and fascia
- Broad porches encompassing the majority of the house front
- Piers and balustrades of the same material as the main mass of the house
- Porch balustrades are connected to column supports

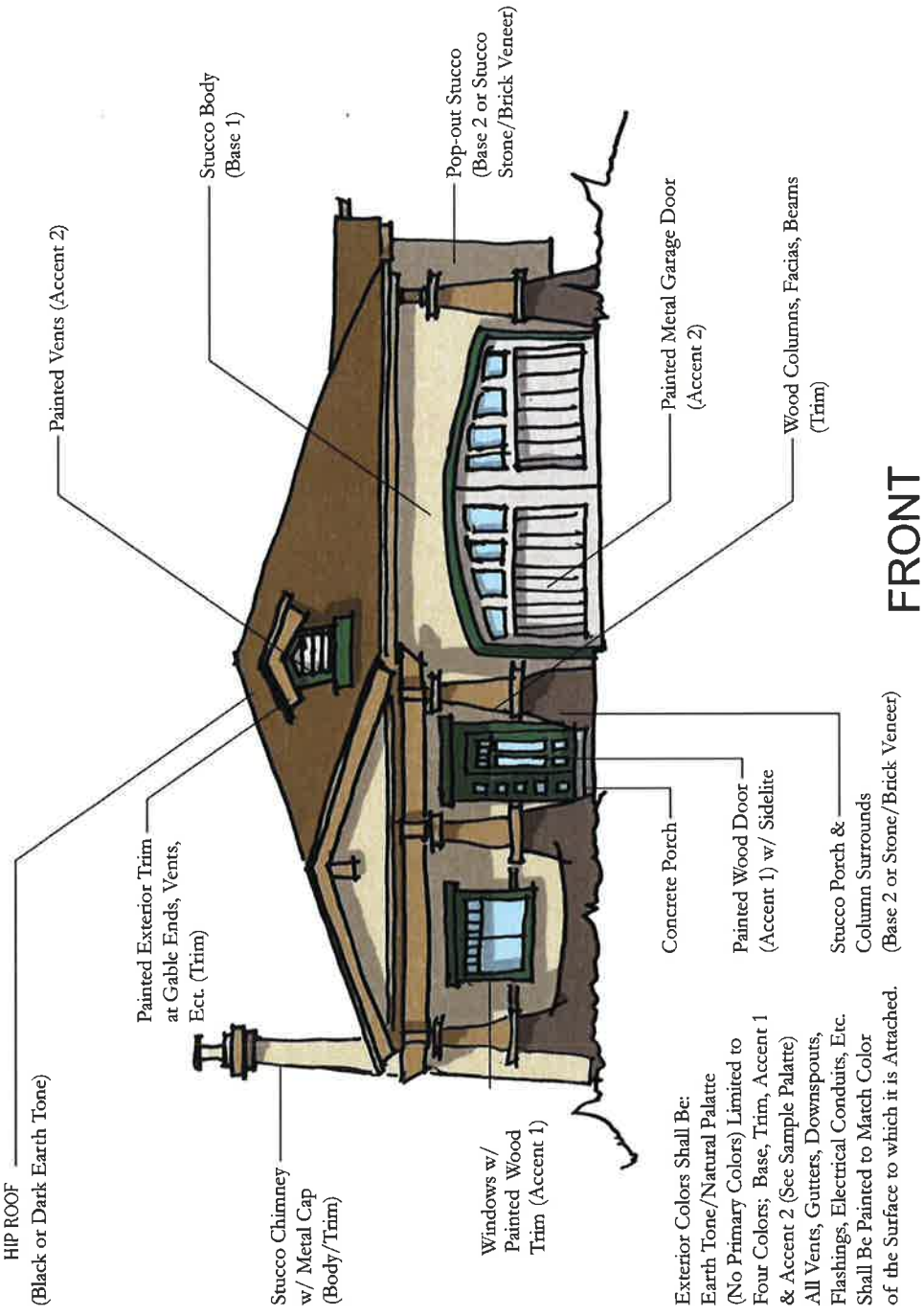
Doors and Windows.

- Doors paneled or a combination of paneled and glazed and entries usually occur singularly
- Doors have sidelights and transoms
- Windows and doors have trim details over the window head and doors
- Box and angled bay windows used as accents
- Picture windows
- Windows double hung with multiple pane over one division
- Door and window sizes shall conform to the architectural style

Materials and Colors

- Walls clad with stucco or wood siding
- Stone and brick used as accents

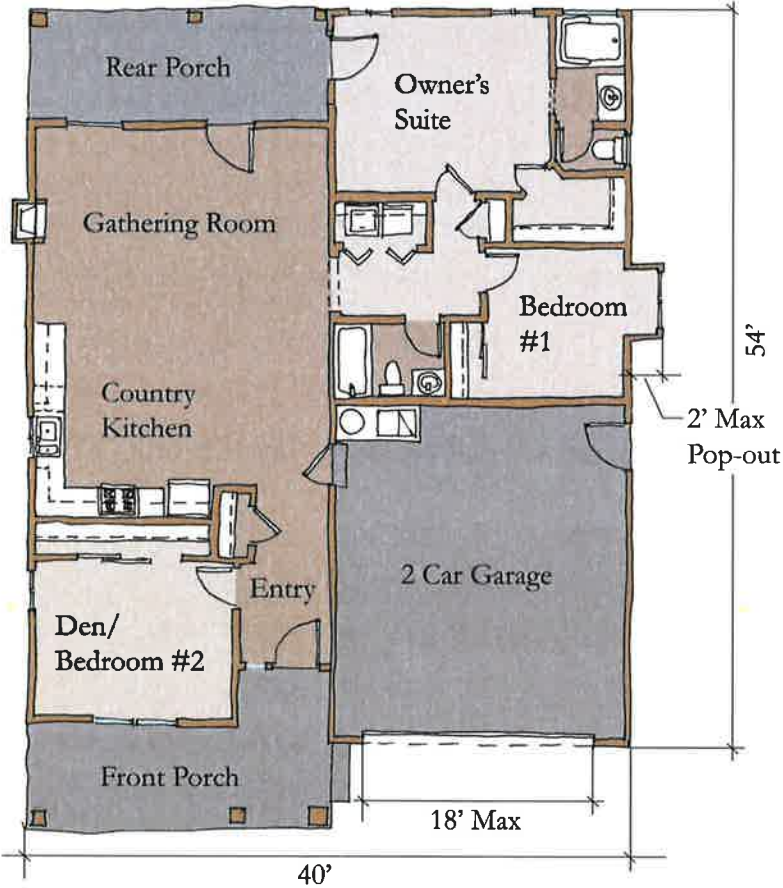
**Exhibit 4-3
Conceptual Illustration "A"**



FRONT

Typical Craftsman Style

Exhibit 4-3a
Conceptual Illustration "A"



**Exhibit 4-3b
Conceptual Illustration "A"**



Side Elevation



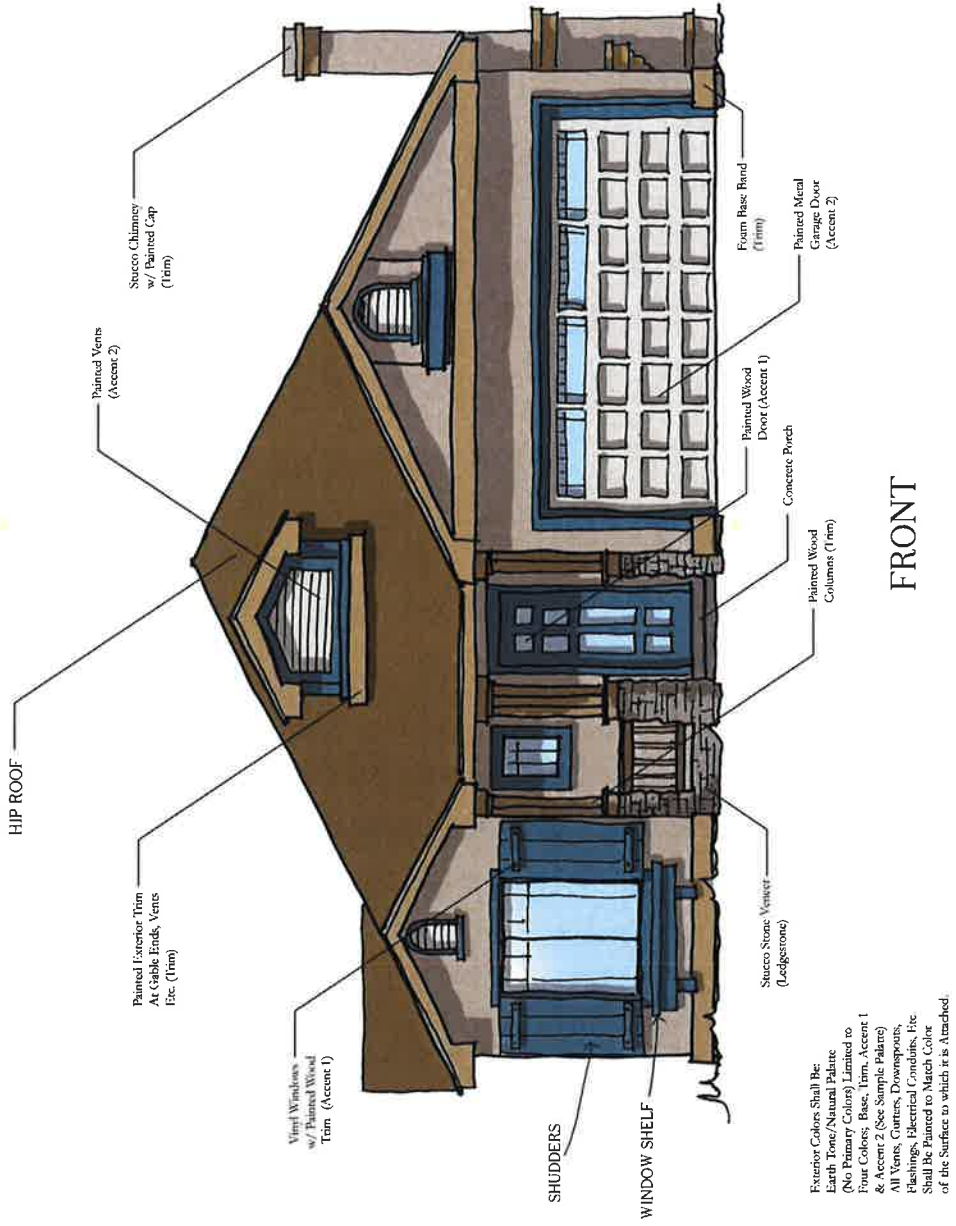
Side Elevation



Rear Elevation

All colors, materials
and architectural
elements to match
front elevation Exhibit
4-3

Exhibit 4-4
 Conceptual Illustration "B"



Exterior Colors Shall Be:
 Earth Tone/Natural Palette
 (No Primary Colors) Limited to
 Four Colors: Base, Trim, Accent 1
 & Accent 2 (See Sample Palette)
 All Vents, Curtains, Downspouts,
 Flashings, Electrical Conduits, Etc
 Shall Be Painted to Match Color
 of the Surface to which it is Attached

Typical Craftsman Style

Exhibit 4-4a
Conceptual Illustration "B"

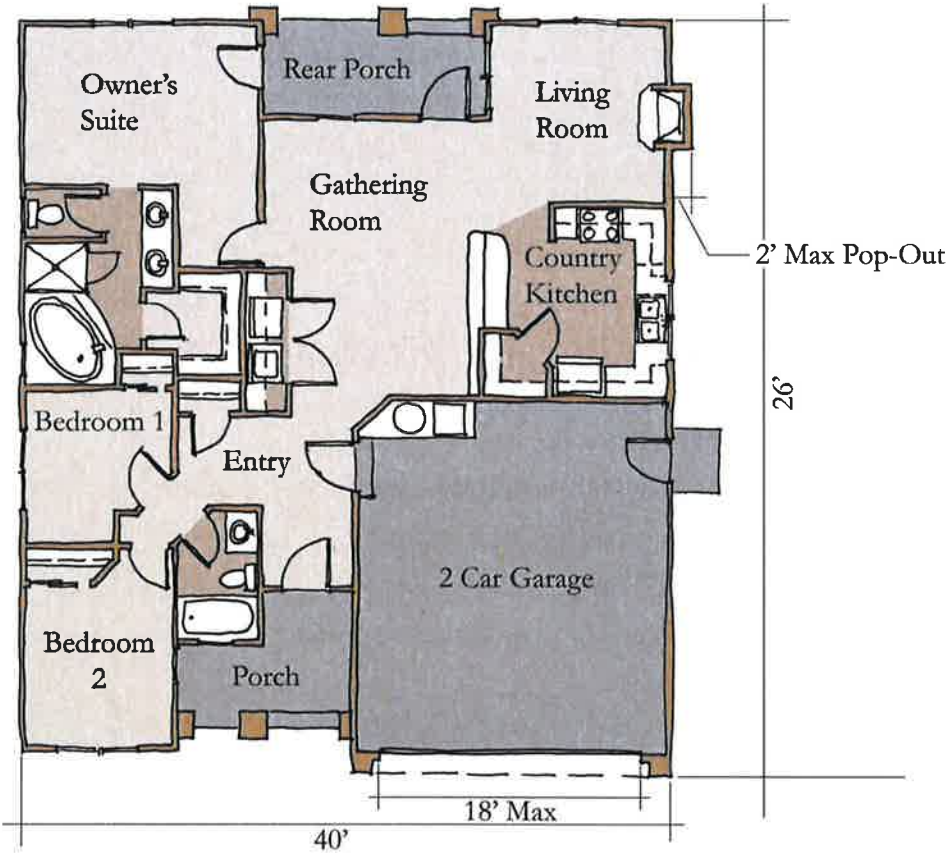


Exhibit 4-4b
Conceptual Illustration "B"



Side Elevation



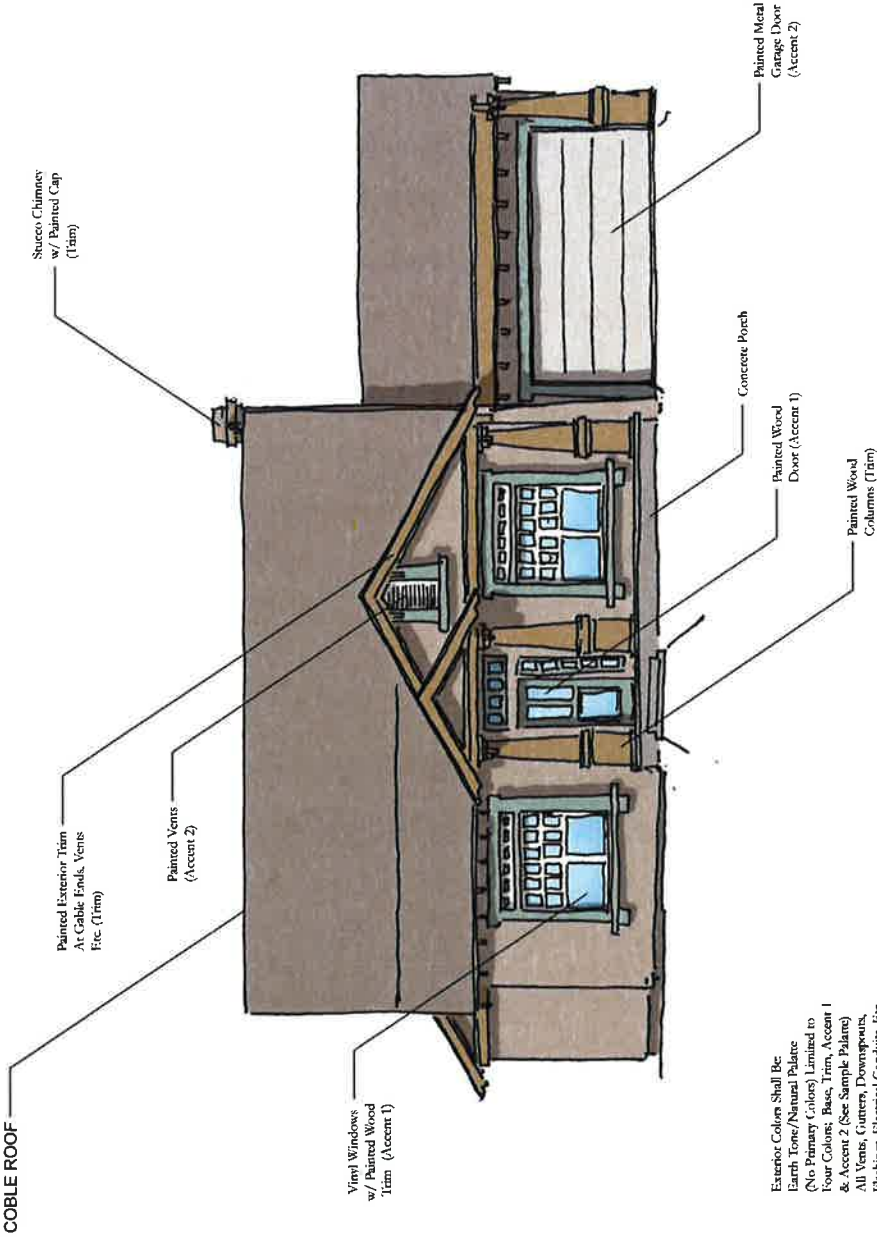
Side Elevation



Rear Elevation

All colors, materials
and architectural
elements to match
front elevation
Exhibit 4-4

**Exhibit 4-5
Conceptual Illustration "C"**

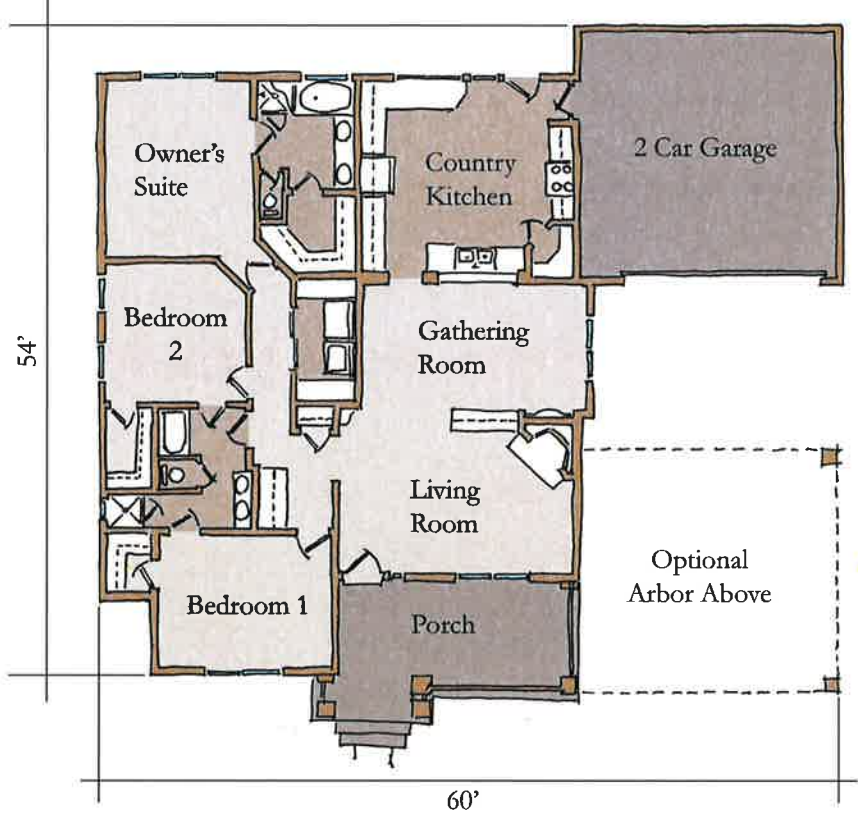


Exterior Colors Shall Be Earth Tones/Natural Palette (No Primary Colors) Limited to Four Colors: Base, Trim, Accent 1 & Accent 2 (See Sample Palette). All Vents, Gutters, Downspouts, Flashings, Electrical Conduits, Etc. Shall Be Painted to Match Color of the Surface to which it is Attached.

FRONT

Typical Farmhouse Style

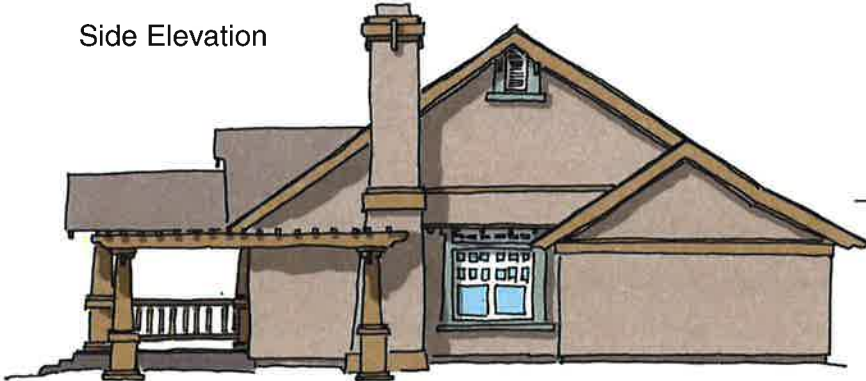
**Exhibit 4-5a
Conceptual Illustration "C"**



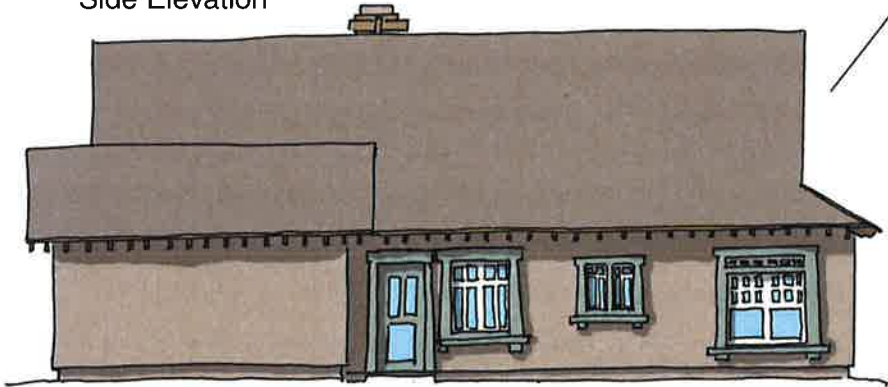
**Exhibit 4-5b
Conceptual Illustration "C"**



Side Elevation



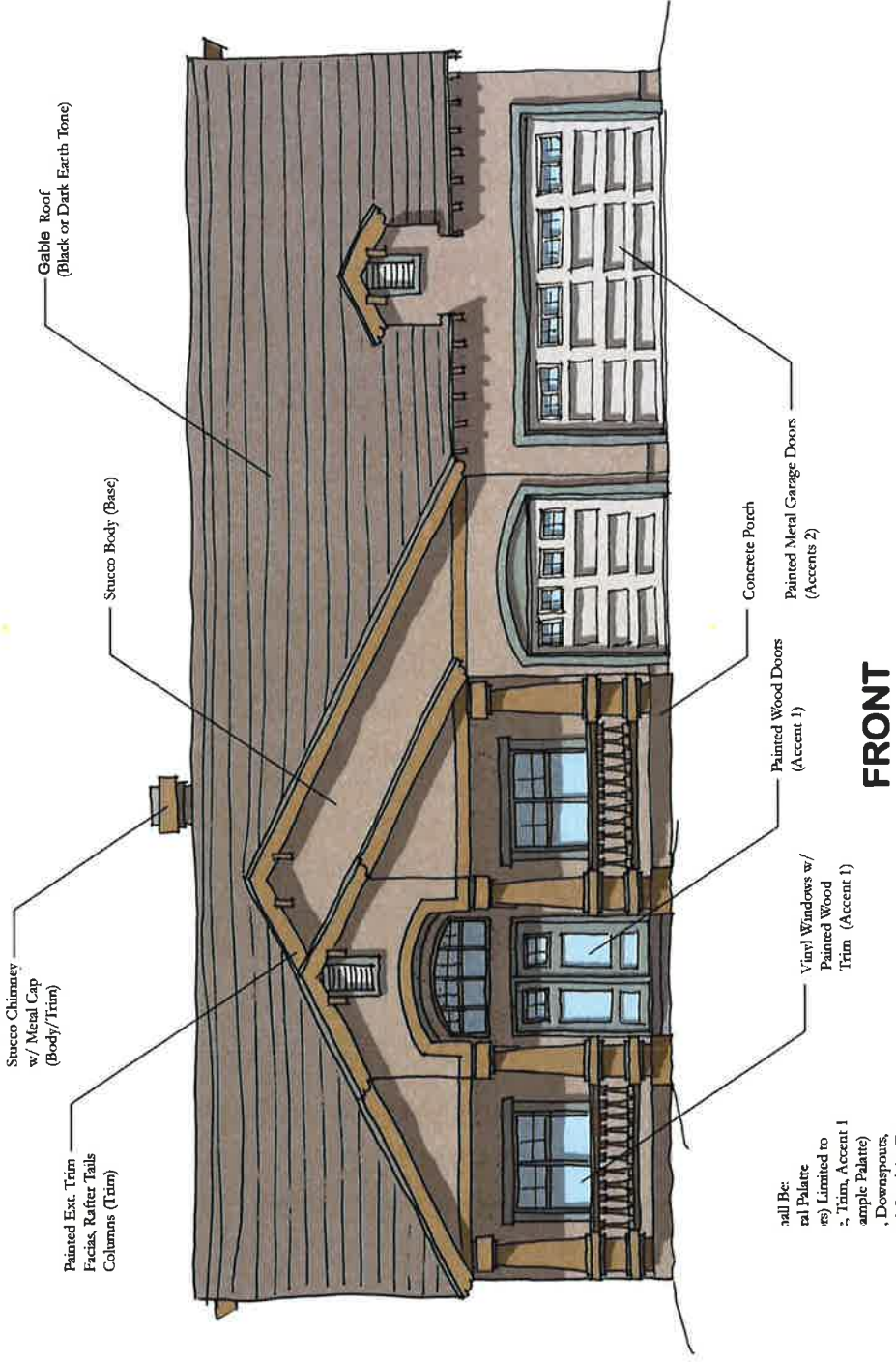
Side Elevation



Rear Elevation

All colors, materials and architectural elements to match front elevation Exhibit 4-5

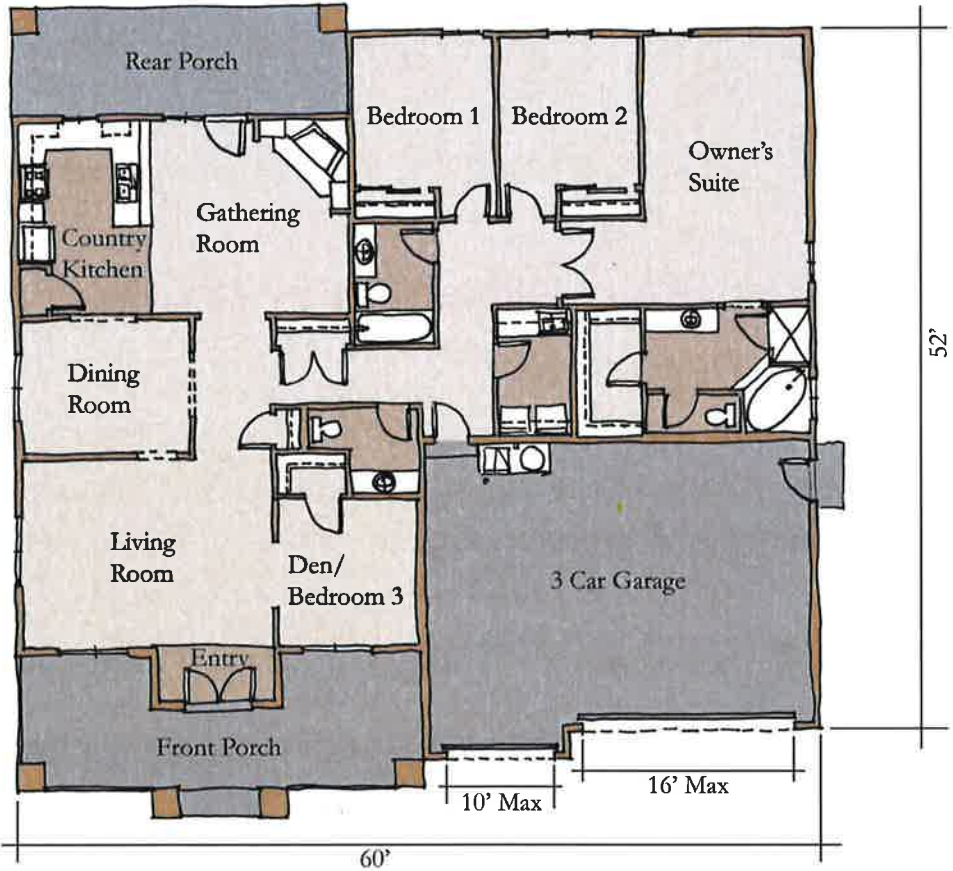
**Exhibit 4-6
Conceptual Illustration "D"**



Call Plate
 Metal Palette
 (s) Limited to
 2. Trim, Accent 1
 ample Palette)
 , Downspouts,
 al Conduits, Etc.
 5 March Color
 which it is Attached.

Typical Farmhouse Style

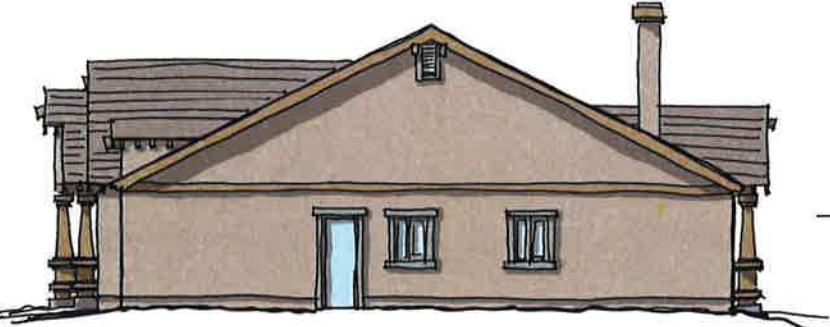
Exhibit 4-6a
Conceptual Illustration "D"



**Exhibit 4-6b
Conceptual Illustration "D"**



Side Elevation



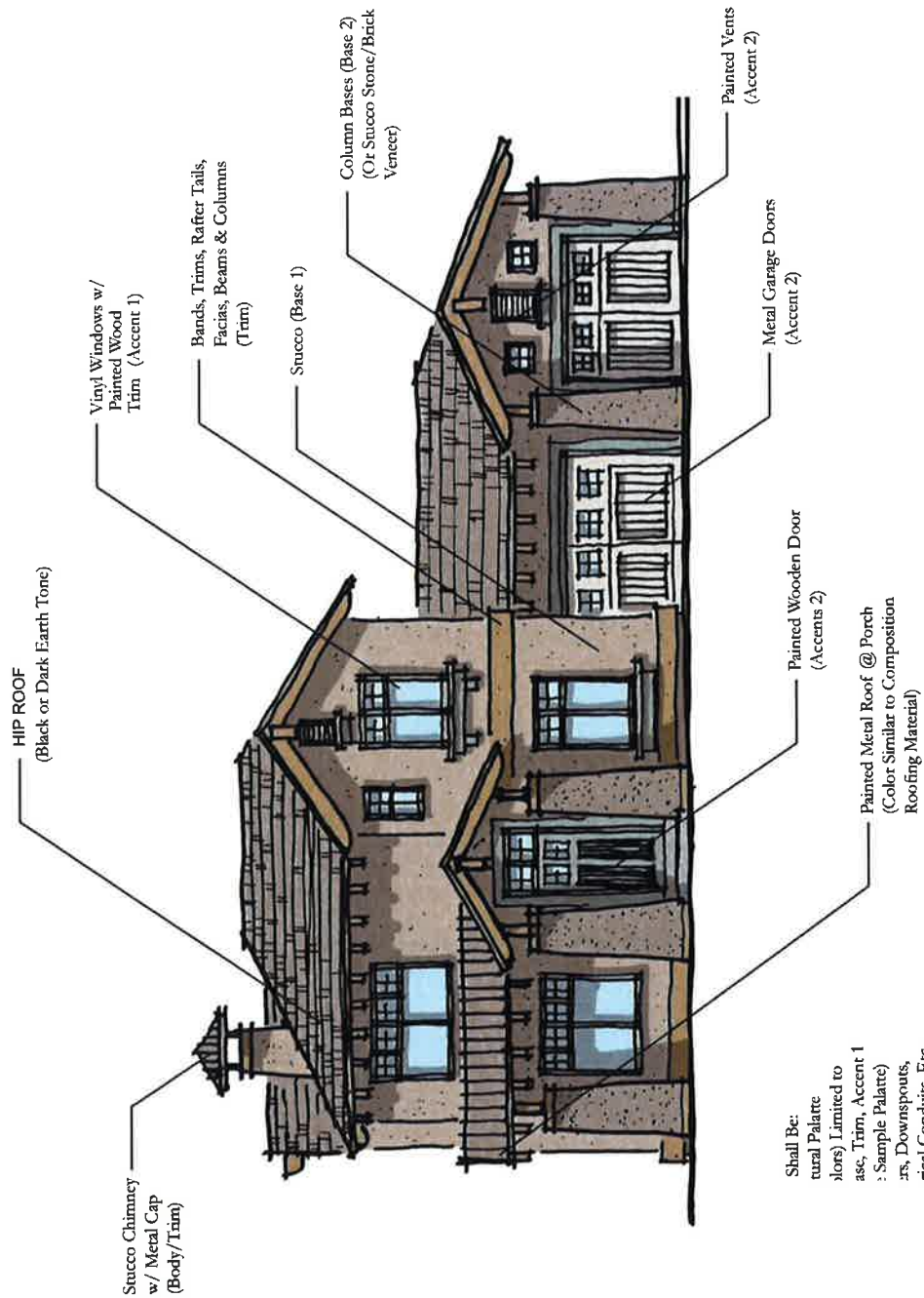
Side Elevation



Rear Elevation

All colors, materials
And architectural
elements to match
front elevation
Exhibit 4-6

**Exhibit 4-7
Conceptual Illustration "E"**

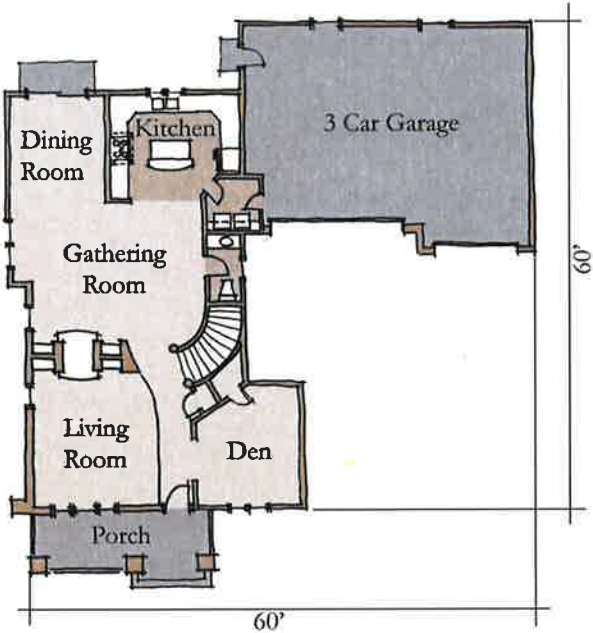


Shall Be:
 tural Palette
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 ace, Trim, Accent 1
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 o which it is Attached.

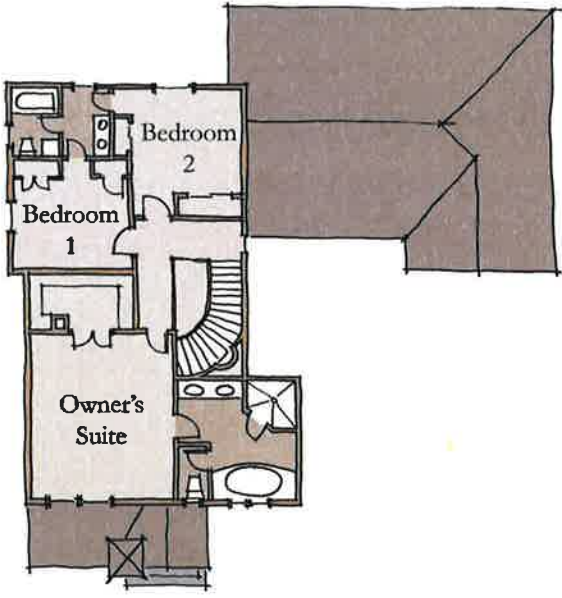
FRONT

Typical Craftsman Style

**Exhibit 4-7a
Conceptual Illustration "E"**

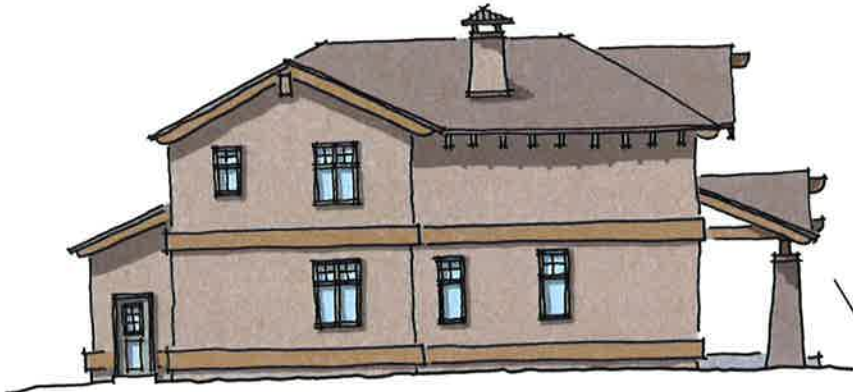


First Floor

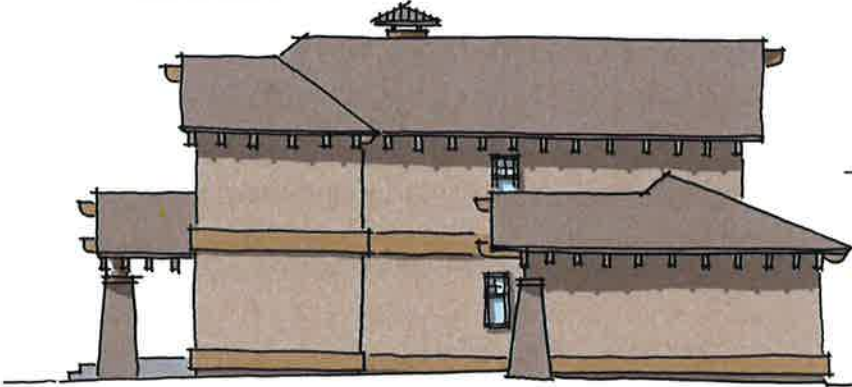


Second Floor

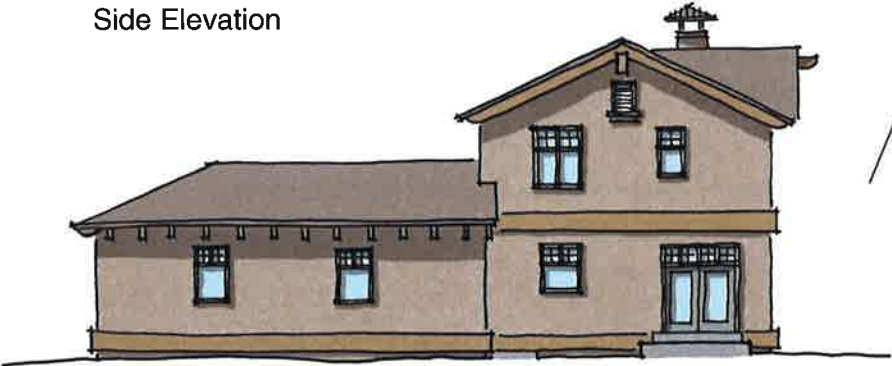
**Exhibit 4-7b
Conceptual Illustration "E"**



Side Elevation



Side Elevation



Rear Elevation

All colors, materials and architectural elements to match front elevation Exhibit 4-7

4.4 Model Home Facilities, Temporary Sales Trailer/Construction Yards, Construction Hours

- 4.4.1 Model Home Complexes shall be reviewed and approved by the SAC and Administrator at the time of Sales Office permit application. The standards of Sparks Municipal Code, Section ~~20.41.090 and 20.41.080 and 20.41.110~~[20.03.040\(A\)\(f\) Model Home Complex](#) shall apply.
- 4.4.2 Construction hours shall be limited to Monday – Friday 7 a.m. to 7 p.m., Saturday 9 a.m. to 5 p.m. and prohibited on Sundays.

CHAPTER 5: SMALL LOT SINGLE FAMILY (COTTAGE HOMES), “Z” LOT, PATIO HOMES, AND TOWNHOUSE (LMDR) RESIDENTIAL

5.1 Land Use Designations, Permitted Uses, Lot Size & Setbacks

5.1.1 Land Use Designations:
 LMDR Low Medium Density Residential – 8 d.u./acre

5.1.2 Residential Permitted Uses:

Table 5-1 Residential Permitted Uses

RESIDENTIAL USES	MDR
Child Day Care, In Home Per Washoe County Requirements	A
Single Family Detached	A
Small Lot Single Family (Cottages)	A
Duplex	A
Zero Lot Line/Z Lot (Bungalows)	A
Patio Homes	A
Townhouses	A
Model Home Facilities (<i>per 5.2.13.1/5.3.22.1/5.54.16/5.5.17.1</i>)	A
Temp. Sales/Const. Office/Yard (<i>per 5.2.13.1/5.3.22.1/5.4.16.1/5.5.17.1</i>)	A
Active Adult Community including recreational amenities such as club house, pool, exercise area, tennis etc.	A

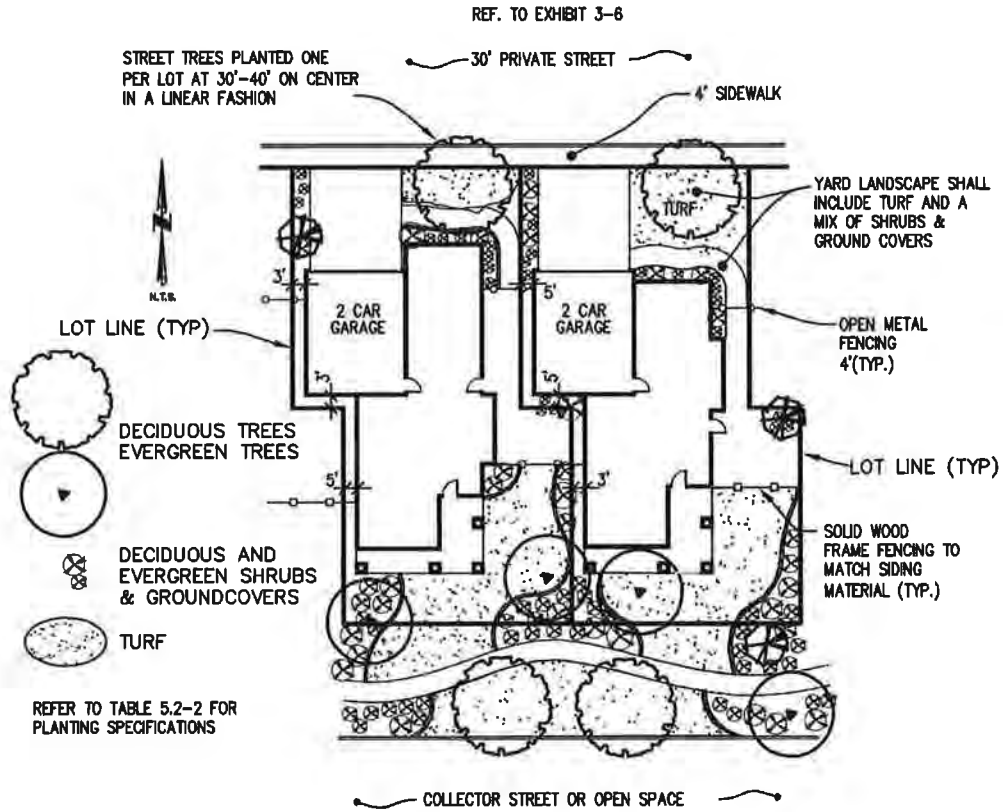
A = Permitted Use

5.2 “Z Lots” or Bungalow (Neo-Traditional Neighborhoods)

5.2.1 Design Concept

The street and lot layout is intended to provide a pedestrian scale neighborhood of zero lot line housing or bungalows that feature garage access from private streets and pedestrian access to sidewalks in surrounding common areas and adjacent collector streets. Refer to **Exhibit 5.2-1** for site plan concept.

**Exhibit 5.2-1
"Z Lots" Concept**



Minimum Lot Size 4,000 sq. feet
Minimum Lot Frontage 35 feet
Maximum Building coverage 50%
Corner Lots shall be a Minimum 10-foot side

5.2.2 Setback Requirements (includes Roof Overhangs) and Local Road Standards

5.2.2.1 Front Yard Setback (see Summary in **Table 5.2-1**)

The minimum front yard setback to the residence will be 15 feet measured from the front property line. In no case shall any portion of the second story of any floor plan be allowed closer than 20 feet from the front property line. The garage shall be set back a minimum of 20 feet from the front property line. (Refer to **Exhibit 5.2-2**) A porch may be 10 feet from the front property line.

5.2.2.2 Rear Yard Setbacks (see Summary in **Table 5.2-1**)

No building may be closer than fifteen (15) feet to the rear property line. Rear porches shall not be closer than ten (10) feet from the rear property line. No accessory buildings are allowed.

5.2.2.3 Side Yard Setbacks (see Summary in **Table 5.2-1**)

The minimum distance between buildings shall be ten feet (10'). The "Z Lot" side of the dwelling will be shifted off the property line five feet (5'), to allow maintenance and drainage access, with a use easement granted to the adjacent owner, per City of Sparks Building Official.

Exhibit 5.2-2
Typical "Z Lot" Setback Configuration

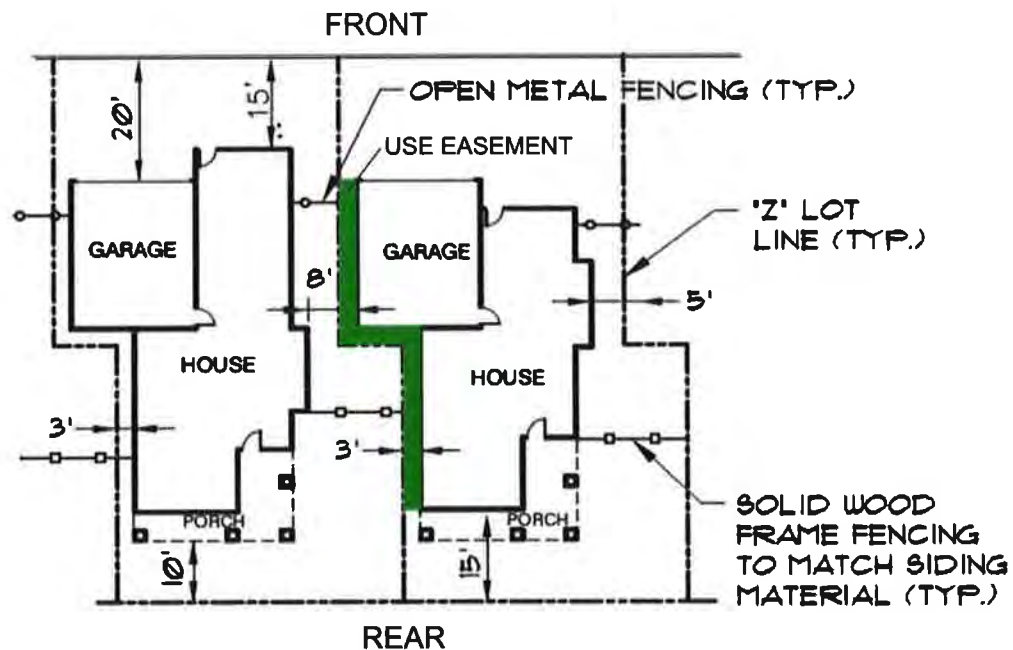


Table 5.2-1: Neighborhood Minimum Building Setback Requirements

<u>TYPE</u>	<u>FEET</u>	<u>CONDITION</u>
Front Setback	15	To residence
	20	To garage
	10	To porch
Rear Setback	15	To residences
	10	Porch
Side-Yard Setback	5.0	5.0' minimum
	3.0	Common use easement side
		8.0' minimum between buildings

5.2.2.4 Covered Porches

Covered porches are allowed on the rear and side, of dwellings. Porches shall be a minimum of 6 feet deep and be set back a minimum of 10 feet from the rear property line.

5.2.2.5 Building Height

Maximum building height shall be two (2) stories per City of Sparks Ordinance 20.37.

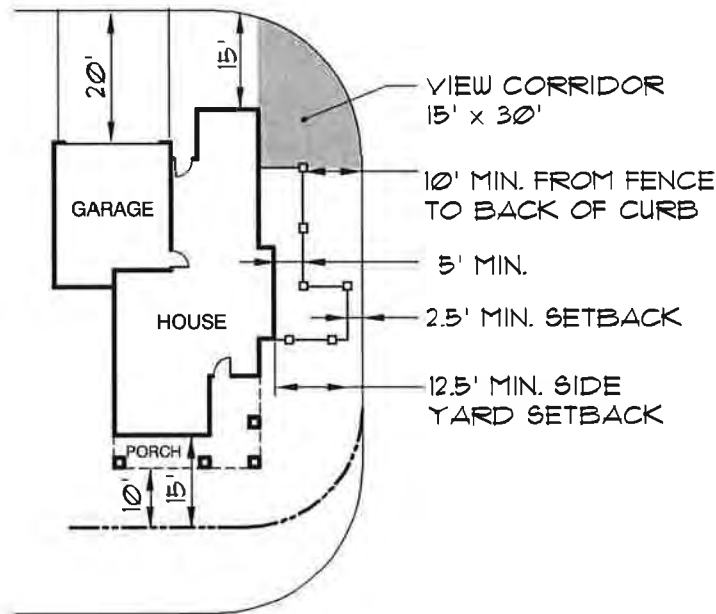
5.2.2.6 Parking Requirements

Per City of Sparks Parking Ordinance 20.49. In addition, one guest parking space shall be provided for every 2 units in guest parking lots in common areas.

5.2.2.7 Streets

Private streets to serve as access to garages and all lots shall be developed per the design standards. There is no parallel parking allowed on private streets. Refer to **Exhibit 3-6**. Public streets may also be used in conformance with **Exhibit 3-5**.

Exhibit 5.2-3
“Z lot” Bungalow Corner Lot Side Yard Setback



5.2.3 Architectural Projections

Architectural projections such as fireplaces, box-outs, media niches porches, etc., are not permitted, to project into required setbacks.

5.2.4 Usable Open Space (see Summary in Table 5.2-1)

Minimum usable rear – side yard space shall be 300 square feet for a two-bedroom residence and an additional 100 square feet for each additional bedroom.

5.2.5 Shade Structures

Shade structures including detached structures, are not permitted.

5.2.6 Corner Lot Side Yard Setback

The minimum side yard adjacent to a street shall be 15 feet from back of curb or sidewalk. Fences may be located two and one-half (2.5) feet from the back of curb or sidewalk. No structure or fence shall be allowed in the view corridor formed by a rectangle that is 15 feet wide and 30 feet deep measured from the back of curb (Refer to **Exhibit 5.2-3**).

5.2.7 Plan Conformance

Submitted plans for all “Z lot” or bungalow developments shall comply with the final map design standards for Stonebrook Bungalows including the International Building Codes and all City of Sparks ordinances in effect prior to issuance of any building permit for the homes, the master plan for each model of home shall be reviewed and approved by the City of Sparks.

The Parcel Developer shall provide specific plot plans with a wet-stamp by a Nevada Registered Engineer for each individual lot on an 8 ½ x 11-inch format and a composite of a minimum of ten lots at a time to ensure adequate setbacks between structures. Plot plans

and composite drawings are to be submitted to the Building Division of Community Development and approved by the Planning Department prior to issue of building PERMITS.

The Developer shall retain responsibility to ensure landscaping for neighborhood entrances and open space areas are consistent with the intent and material requirements of the Design Standards throughout the PD.

5.2.8 Fencing Design and Installation Requirements

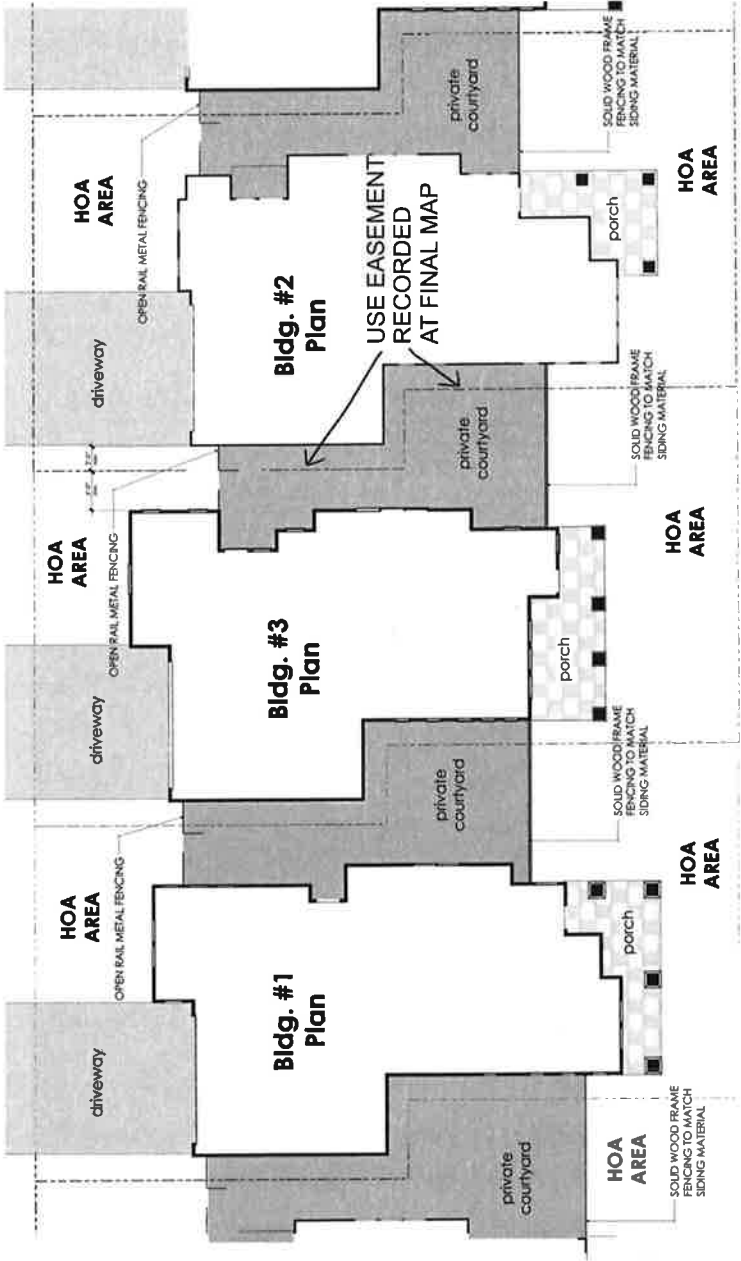
5.2.8.1 Residential Fencing

At the time of home construction, all Developers shall be required to submit plans for approval to install fencing that encloses the entire private courtyard for each residence. Fencing shall be in conformance with **Exhibit 5.2-4 to 5.2-6**

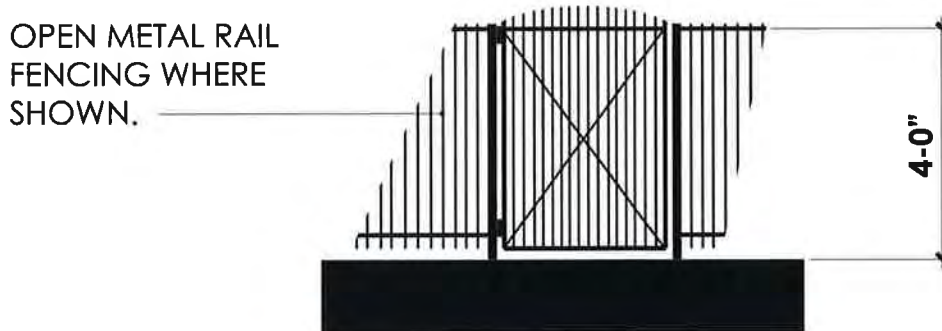
5.2.8.2 Common Area Fencing

The Project Developer shall be responsible for all fencing to be constructed consistent with the intent and material requirements of the Design Standards throughout the project, subject to review and approval by the City of Sparks. (Refer to **Exhibit 5.2-4 to 5.2-6**).

**Exhibit 5.2-4
Fencing Design**



**Exhibit 5.2-5
Front/Side
Yard Access
Metal Fence**



**Exhibit 5.2-6
Rear/Side Yard
Solid Wood Fencing**

NOTE:
WHERE INDICATED, ALL SOLID FENCING
WILL MATCH BUILDING SIDING MATERIAL.



Type 1 Solid Fencing



Type 2 Solid Fencing

5.2.8.3 Implementation

Preliminary floor plans and conceptual elevations for all single-family bungalows are illustrated with **Exhibits 5.2-9 to 5.2-11b**. A design theme will be consistently applied throughout the single-family bungalow development, as illustrated by the conceptual illustrations. The design standards below will provide additional means for review of the final design plans.

5.2.9 Architectural Standards

5.2.9.1 Exterior elevations shall demonstrate a unified appearance. The architectural character of the individual dwellings (i.e. window trims, cornices, arches, etc.) shall be utilized on all elevations of the structure. The following conceptual illustrations define the unified appearance required. Refer to **Exhibits 5.2-9 to 5.2-11b**.

- 5.2.9.2 Building facades (all sides) shall be articulated by using color arrangement, or change in materials to emphasize the façade elements. Design elements and detailing shall be continued completely around the structure. Such design elements shall include window treatments; trim detailing, and exterior wall materials. Refer to Exhibits 5.2-9 to 5.2-11b.
- 5.2.9.3 Trim and detail work on garages shall be consistent with that of the main structure.
- 5.2.9.4 Once an architectural style has been developed within a village, it shall apply to all buildings/structures within that village.
- 5.2.9.5 The main entrance shall have a sense of prominence that is reflected in the design. It shall include either a pair of doors with or without sidelights, an oversized door, or a single door with sidelights. The main entrance shall contain more detail and scale than other openings but be consistent in styling. Refer to Exhibits 5.2-9 to 5.2-11b.
- 5.2.9.6 The exterior finish of window frames and doors shall be made of wood, vinyl, vinyl-clad wood, or vinyl-clad aluminum. Glazing shall be clear, gray, or bronze tinted only. Reflective glass will not be allowed.
- 5.2.9.7 All exterior windows and doors, regardless of final material selection, shall utilize trim. Refer to Exhibits 5.2-9 to 5.2-11b.
- 5.2.9.8 Exterior materials shall be selected for their durability and ease of maintenance.
- 5.2.9.9 Accent materials such as stone and brick wainscoting shall be used on a minimum of 50% of the homes but must wrap the sides of the house a minimum of 2' and stop at a typical break point.
- 5.2.9.10 The use of plywood, sheet siding, or manufactured sheet siding is prohibited
- 5.2.9.11 All exterior siding materials are subject to review and approval by the SAC and Administrator and shall be submitted at the time of Tentative Map submission.
- 5.2.9.12 Renderings depicting colored exterior elevations (all sides) and conceptual floor plans shall be submitted to the SAC and Administrator at the time of Tentative Map submission. Refer to Exhibits 5.2.9 to 5.2.11b.
- 5.2.9.13 Exterior colors shall be of an earth tone/natural palette, complementary with the natural surroundings inherent to Stonebrook. No primary colors will be allowed. The amount of colors permitted on a single residence shall be limited to a maximum of 4 colors; base, trim, accent 1 and accent 2. A fifth color may be permitted only in the instance of an attached appurtenance, i.e. porches in white will be allowed. Specific sample color palettes for body, trim and accent colors shall be submitted to the SAC, for review and approval prior to submittal and approval by the City. Color Palette shall be submitted at the time of Tentative Map submission. Refer to Exhibits 5.2-7 and 5.2-8.
- 5.2.9.14 All vents, gutters, downspouts, flashings, electrical conduits, etc., shall be painted to match the color of the surface to which it is attached. Refer to Exhibits 5.2.9 to 5.2.11b.

- 5.2.9.15 No flat roofs shall be permitted within the residential portions of Stonebrook. Roofs shall be designed in direct scale and proportion to the structure. Roof massing shall be reviewed and approved by the SAC and Administrator.
- 5.2.9.16 Hip, gable, and shed roofs are all required roof forms. Roof slopes shall have a minimum of four feet and a maximum of ten feet of vertical rise for every 12 feet of horizontal run. Refer to Exhibits 5.2.9 to 5.2.11b.
- 5.2.9.17 Roof materials shall be comprised of non-flammable, non-reflective, color treated materials. All roofs must be, at a minimum, rated Class A Fire Retardant or Better.
- 5.2.9.18 Roof materials shall be concrete or clay tiles, non-reflective color treated metal roofing, which mimics shake or slate roofing, or 40-year architectural grade composition shingles. All proposed roofing material should have the approval of the SAC and Administrator.
- 5.2.9.19 Roof material shall be submitted for review at the time of Tentative Map submission.
- 5.2.9.20 No roof mounted mechanical equipment, antenna or appurtenances shall be permitted. One satellite dish per structure may be permitted, provided the dish is 18" in diameter or less and mounted discretely, to the approval and enforced by the SAC, on an eave or soffit to maximize screening.
- 5.2.9.21 Detached accessory structures are not allowed.
- 5.2.9.22 All house addresses shall be clearly readable from public right of ways.
- 5.2.9.23 All exterior mounted light fixtures shall be complementary to the design of the structure they serve and must consider the following minimum guidelines:
 - Direct light source must be concealed from typical lines of sight, vehicular, and pedestrian)
 - Exterior mounted lights shall not exceed 12' in height
- 5.2.9.24 A minimum of 50% of the homes shall have 6' deep covered porches as depicted in Exhibits 5.2.9 to 5.2.11b provided they meet the required setbacks.
- 5.2.9.25 Exhibits 5.2.9 to 5.2.11b depict detail elements (such as shutters, chimneys, porch columns with bases and caps, horizontal boards etc.) which shall be included in part of the residential design of the homes.
- 5.2.9.26 There shall be a 2-foot minimum horizontal plane separation from the garage and living portions of the façade.
- 5.2.9.27 All residential parcels shall contain a variety of architectural styles that shall be specified with each Tentative Map Submittal. The styles such as Craftsman, French, Spanish, Farm House etc. shall contain basic elements that reflect the style such as:

Craftsman: (Refer to Conceptual Illustration **Exhibit 5.2-9**)

Basic Elements:

- Gable roofs with deep overhangs.
- Expressive structural elements such as rafters, brackets and columns.

- A mixture of materials such as stone, shingles and siding
- Porches with distinctive pier column combinations
- Window sizes shall conform to the architectural style

Building Mass and Roofs:

- Gabled roofs with a pitch range from 4 in 12 to 6 in 12 for the main roof.
- Wings which project from the main mass and receive independent roof forms
- Roof materials of concrete or clay tile, 40-year composition asphalt shingles or slate.

Building Articulation:

- Large, detailed eave projections with exposed rafter tails
- Gable roof projections may be supported by braces or extended beams
- Broad porches encompassing the majority of the house front or rear
- The gable roof on porches parallel to the roof of the main structure
- The detailing of porches showing variety, such as short square columns that rest on massive piers, battered columns or solid balustrades.
- Railings have square balusters or turned spindles

Doors and Windows

- Windows and doors broad in proportion
- Doors paneled or contain a combination of paneled and glazed elements, and entries usually occur singularly
- Doors have sidelights and transoms. The door trim surround consistent with the window trim.
- Windows and doors that have trim caps, brackets or other details over the window head
- Box and angled bay windows used as accents
- Double hung windows with multiple panes over one divisions
- Casements windows used as specialty windows
- Windows either flat, half-round or segmental arched tops.
- Window and door sizes shall conform to the architectural style

Materials and Colors

- Walls clad with stone, brick, stucco, wood siding, or plane shingles

Farmhouse: (Refer to the Conceptual Illustration – **Exhibits 5.2.10 and 5.2-11**)

Basic Elements

- Variable pitched roofs with moderate overhangs
- Expressive structural elements such as rafters, brackets and columns
- A mixture of materials such as stone, stucco and wood siding
- Porches incorporating heavy timber columns with knee braces
- Window sizes shall conform to the architectural style

Building Mass and Roofs

- Roofs gabled with a pitch range from 3 in 12 to 9 in 12 for the main roof
- Roofs simple gable, hipped or gambrel forms often with dormers
- Roof materials to be 40-year composition asphalt shingles, concrete tile or clay tile

Building Articulation

- Simple eave projections with trimmed rafter tails and fascia
- Broad porches encompassing the majority of the house front or rear

- Piers and balustrades of the same material as the main mass of the house
- Porch balustrades are connected to column supports

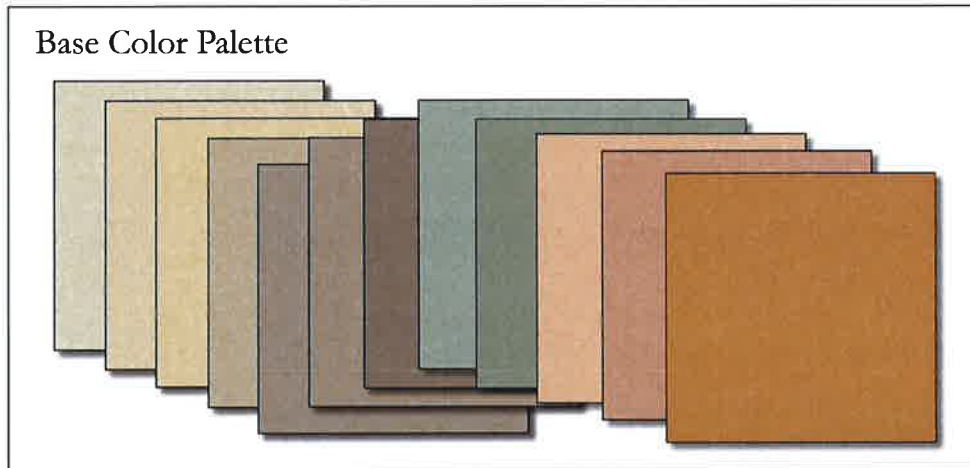
Doors and Windows.

- Doors paneled or a combination of paneled and glazed and entries usually occur singularly
- Doors have sidelights and transoms
- Windows and doors have trim details over the window head and doors
- Box and angled bay windows used as accents
- Picture windows
- Windows double hung with multiple pane over one division
- Doors and window sizes shall conform to the architectural style

Materials and Colors

- Walls clad with stucco or wood siding
- Stone and brick used as accents

**Exhibit 5.2-7
Base Color Palette for Stonebrook**

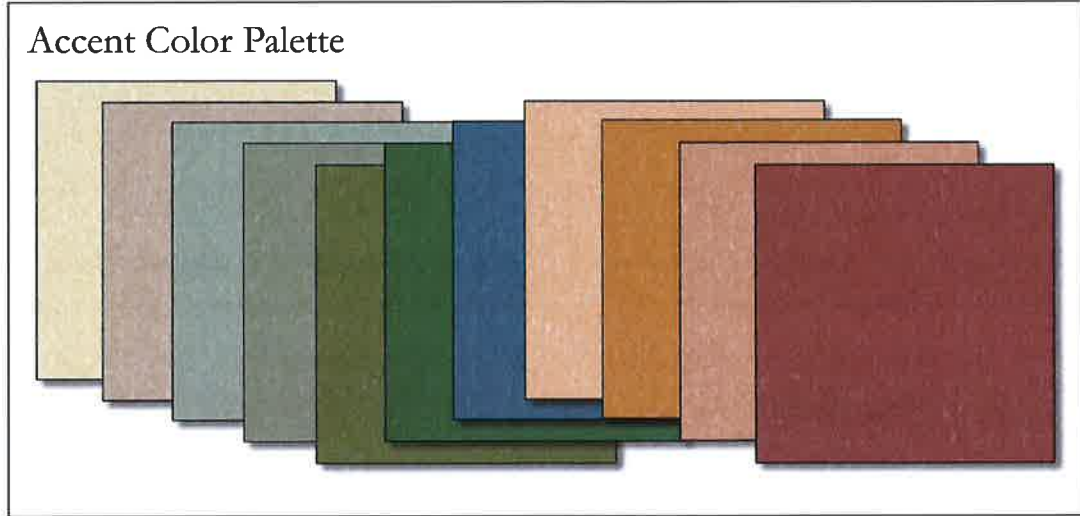


**STONEBROOK
COLOR PALETTE**

These Color Swatches are Examples of “Earth Tone/ Natural Palette Complementary with the Natural Surroundings Inherent with Stonebrook,” As Noted in the Handbook (4.2.26).

Stonebrook Design Handbook
Chapter 4
Single Family Residential

Licata Hansen Associates
Architecture, Imaging, Planning



STONEBROOK COLOR PALETTE

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(4.2.26).

Stonebrook Design Handbook
Chapter 4
Single Family Residential

Licata Hansen Associates
Architecture, Imaging, Planning

5.2.9.28 Lighting

The functional objectives in providing exterior area lighting are to illuminate areas necessary for safe and comfortable use. In certain situations, area lighting can add to the aesthetic appeal of a site by highlighting architectural features of a building or illuminating pathways and landscape plantings. In these instances, only the special features of a building or landscape shall be illuminated. It should be noted that the following standards address area lighting on individual properties.

5.2.9.29 Standards

- Driveway, walkway, and building lights shall be directed downward.
- Illumination for aesthetic or dramatic purposes of any building or surrounding landscape utilizing exterior light fixtures project that light beyond the property line shall be prohibited.
- Lighting Levels - No consistent overall lighting and overly bright lighting shall be permitted. Lighting for pedestrian movement shall be permitted if it only illuminates entrances, changes in grade, path intersections, and other areas along paths.
- Lighting Height as a rule, the light source should be kept as low to the ground as possible while ensuring safe and functional levels of illumination. Area lighting shall be directed downward with no spill of lighting beyond the property line. Any light source over 10 feet high shall incorporate a cut-off shield to prevent the light source from being directly visible from areas off-site beyond the property line.

5.2.10 Landscape Standards

5.2.10.1 Functional Requirements

Single-family Bungalows will be developed with typical front and rear yard landscape plans establishing design details, and construction specifications prepared by a landscape architect. Typical landscape and irrigation construction plans will be submitted for approval by the City of Sparks. Developers shall be responsible for installation of individual front and rear yard landscapes and irrigation systems, in all areas maintained by the HOA, (refer to **Figure 5.2-4**) prior to final inspection for the bungalows, weather permitting.

5.2.10.2 Landscape & Irrigation Requirements

Front and rear yard landscapes shall be designed utilizing low water demand principles and plant material. Homeowners and the HOA will be encouraged to utilize low water demand principles in landscaping side yard courtyard. Developers of residential lots will be required to install the initial vacuum breaker and valves with an automatic controller for the front and rear yards and provide stubs to side courtyards.

5.2.10.3 Bungalow Residential Landscaping – To Be Installed By HOA

Front- and rear-yard landscaping shall consist of turf, shrubs and/or ground cover and a minimum of four 15 gallon, 1½ min. caliper street trees per residence with one additional 15 gallon street tree for all corner lots. In addition, all front and rear yard landscaping shall include acceptable automated irrigation designed to conserve water. Typical front and rear yard landscape and irrigation plans must be submitted to the City of Sparks for approval prior to application to the City for building permits. (See **Table 5.2-2**, below.)

Table 5.2-2: Combined Front And Rear Yard Minimum Landscaping Requirements

PLANT MATERIALS	QUANTITY	PLANT SIZE	MINIMUM SIZE
Turf		60% max coverage	
Shrubs	16 min	5 gallon	
Living ground cover	10	5 gallon equiv. 30% min. coverage	
*Trees for standard lot	4	15 gallon boxed or B+B Evergreen trees 6' feet min.	1 ½"- 50% 2"- 50%
*Trees for corner lots	5	15 gallon boxed or B+B	1 ½"- 60% 2"- 40%

- Trees shall not be placed less than 5' or greater than 7' from the back of the sidewalk.
- Turf and living ground covers shall cover 90% of the area.

5.2.11 Recreation and Common Area Landscaping Requirements

5.2.11.1 Common Area Landscaping

There shall be approved landscape plans for each development phase establishing design details, construction specifications and recommended maintenance and watering programs prepared by a landscape architect submitted by the developer for approval by the Stonebrook Architects Committee (SAC) with certification of compliance to the City of Sparks.

5.2.11.2 Lawn Areas

Within linear common areas along roads, lawn areas shall be limited to between 25% and 50% of the total landscaped area. The remainder area shall be planted with living ground covers and shrubs.

Within recreation areas such as mini-parks and common areas, lawn areas shall be at least 50% but not exceed 80% of the total area not covered by paving, or buildings.

The remaining areas shall be planted with living ground covers and shrubs, with maximum 10% inert ground cover material.

5.2.11.3 Shrubs and Ground Covers

All shrub planting shall be 5 gallon or larger material, Ground cover and vines may be installed as 1-gallon materials or from flats at a maximum of 40% of the shrubs and ground cover area.

5.2.11.4 Trees

Within common area and recreation areas 50% of all deciduous trees shall be a minimum of 1.5-inch caliper, 50% 2-inch caliper, conifers shall be a minimum of 6-foot in height. Common area landscape

5.2.11.5 Mulch

Within common area and recreation areas all mulch areas shall be a minimum depth of 4 inches.

**Table 5.2-3: Common Area Ornamental Landscape Development
Minimum Landscaping Requirements Per 1,000 Sq. Ft. of Area**

<u>PLANT MATERIALS</u>	<u>QUANTITY</u>	<u>PLANT SIZE</u>	<u>CALIPER SIZE (min.)</u>
Turf	70% max. cover	Sod	
Shrubs	10	5-gallon	
Living ground cover or additional shrubs	30% min. cover	5-gallon (or equal)	
Deciduous Trees	4	B&B or Box	50% 2" & 50% 1½"
Evergreen Trees	2	6 ft. min. height	

5.2.12 Landscaping Installation and Maintenance

In addition to front and rear yard landscaping, the Developer shall be required to install landscaping and irrigation along all major roadways including right-of-way and at the entrance of their respective parcel, and shall be responsible for all landscaping and irrigation required within the common area and common recreational facilities within their parcel. As streets are constructed associated landscaping shall be installed.

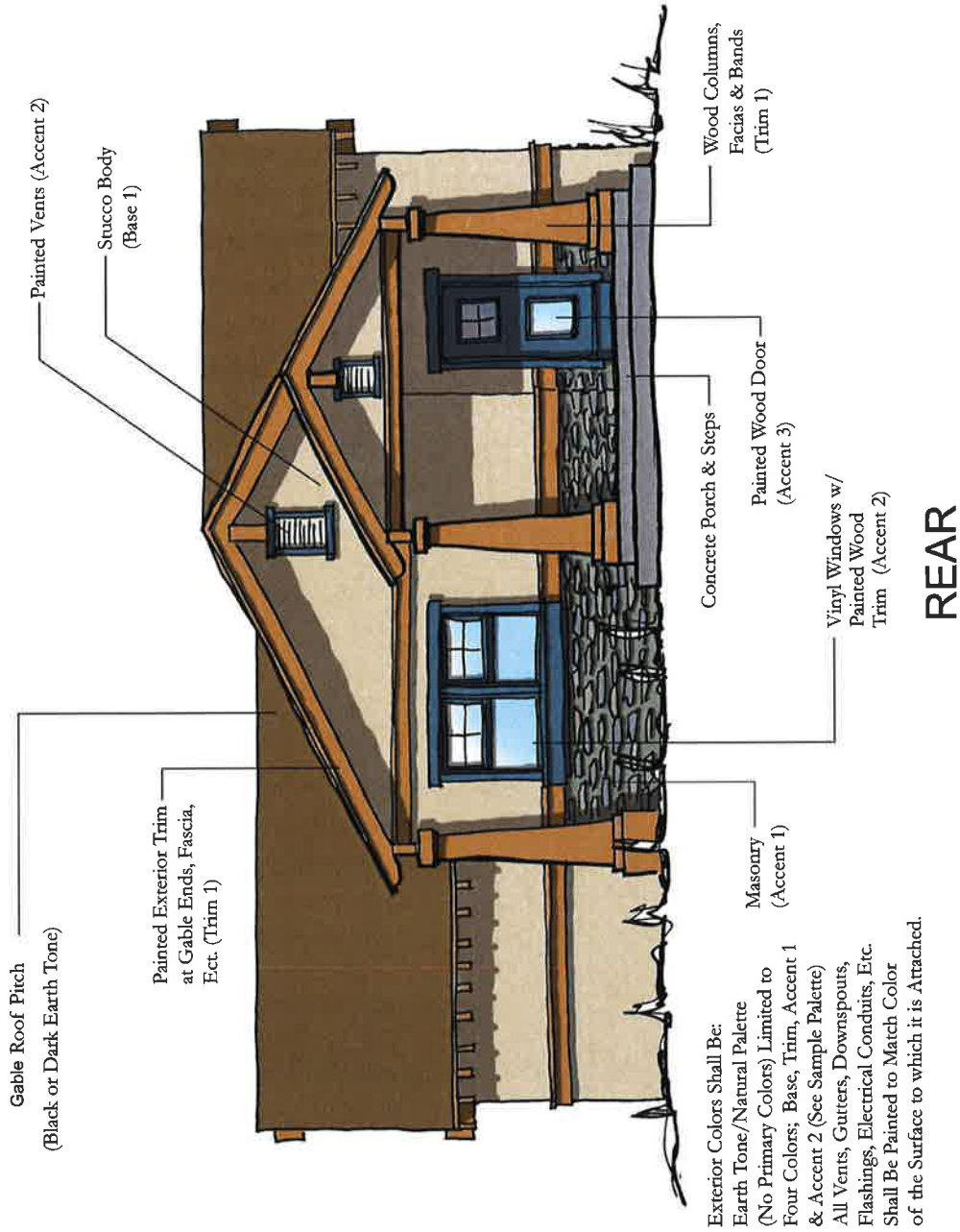
Individual lot owners shall be responsible for maintenance of all private courtyard landscaping and irrigation once installed. The Homeowners Association (HOA) will be responsible to maintain all landscaping and irrigation within common areas, common recreational facilities, and front and rear yards outside the private courtyard fencing. The maintenance of all major roadway buffer landscaping shall be as outlined in Chapter Two of the Stonebrook Design Handbook.

All landscaped areas where turf grass is not used shall be covered with herbaceous shrubbery/prostrate ground cover. Bark mulches or stone cobble (4") are required to cover bare ground temporarily exposed during the maturation period of the ground cover. Planting areas shall be designed to achieve 90% ground coverage within three (3) years. Non-living materials (bark mulches and stone cobble) may not be used for more than 10% of the total landscape area and excludes the area of temporary coverage allowed for all plants and ground cover maturity.

5.2.13 Model Home Facilities, Temporary Sales Trailer/Construction Yards, Construction Hours

5.2.13.1 Model home complexes shall be reviewed and approved by the SAC and administrator at the time of Sales Office permit application. The standards of Sparks Municipal Code, Section ~~20.41.090 and 20.41.110~~20.03.040(A)(f) Model Home Complex shall apply

5.2.13.2 Construction hours shall be limited to Monday – Friday 7 a.m. to 7 p.m., Saturday 9 a.m. to 5 p.m. and prohibited on Sundays



Typical Craftsman Style

Exhibit 5.2-9a
Conceptual Illustration 1

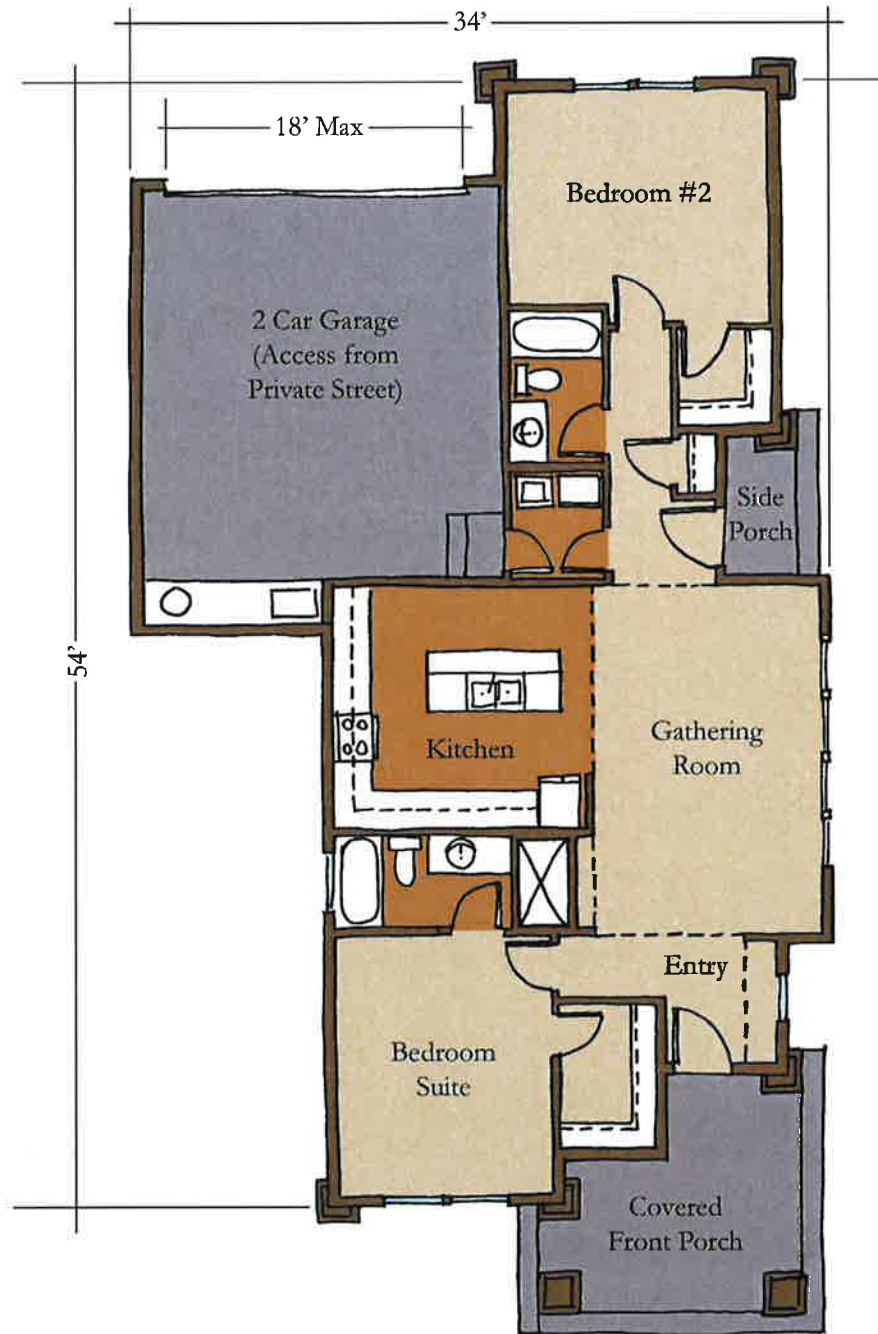


Exhibit 5.2-9b
Conceptual Illustration 1

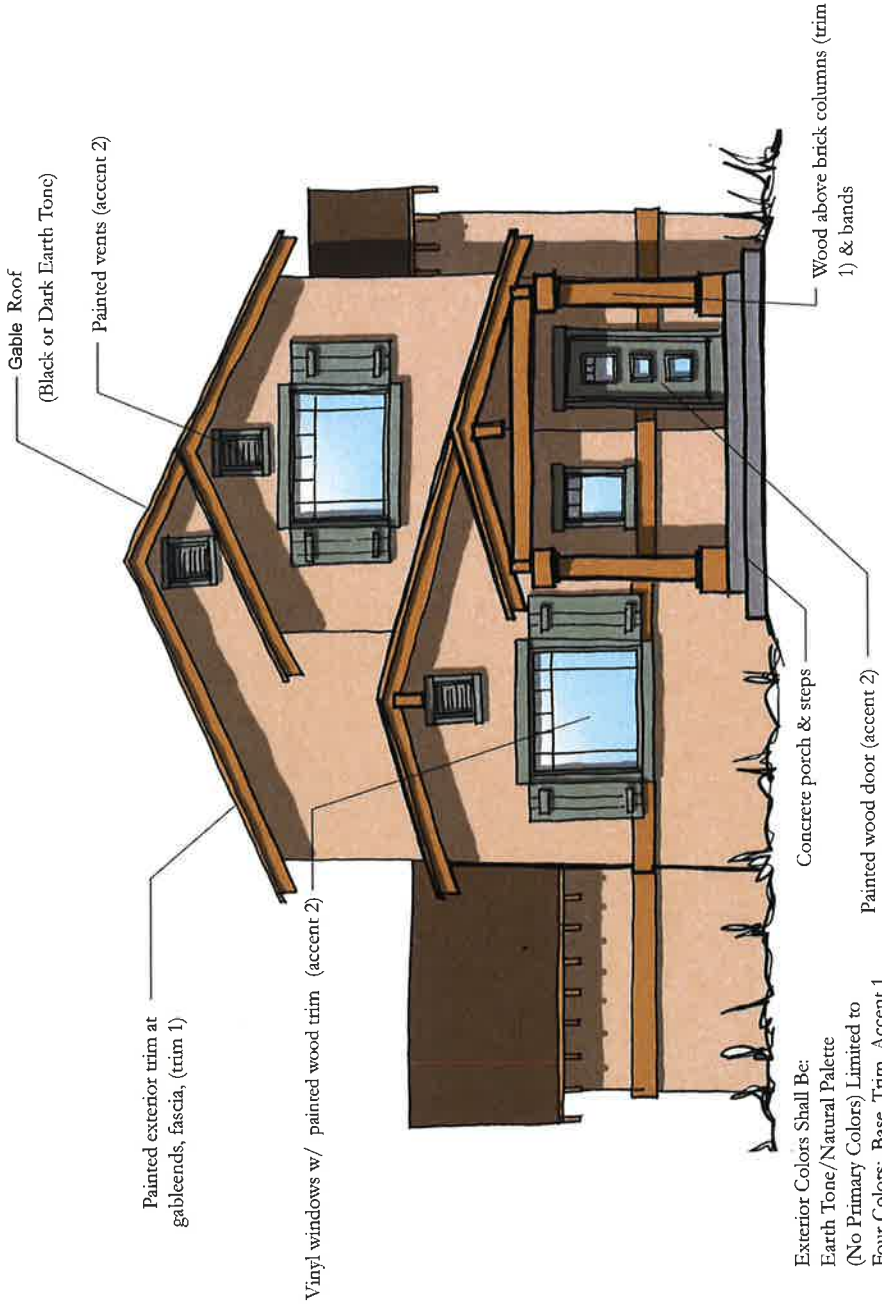


Side



All colors,
materials and
architectural
elements
same as
Exhibit 5.2-9



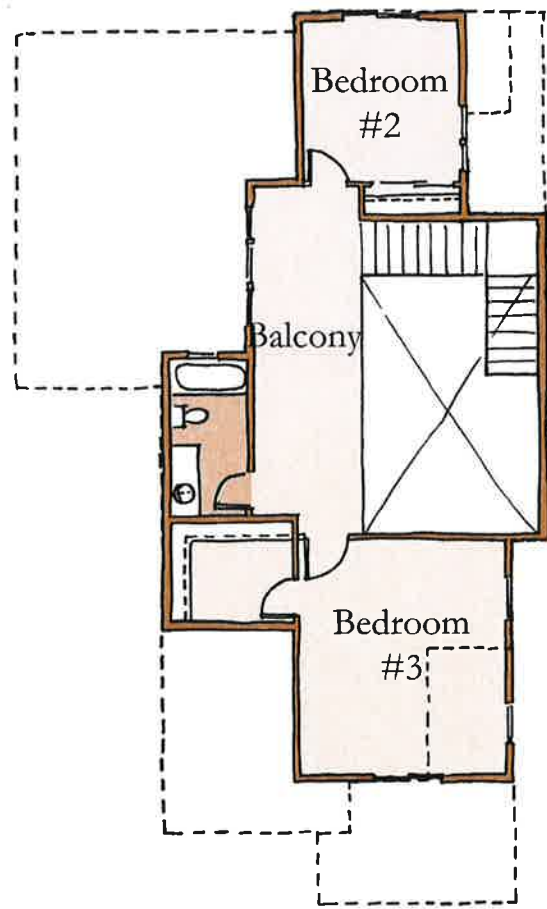
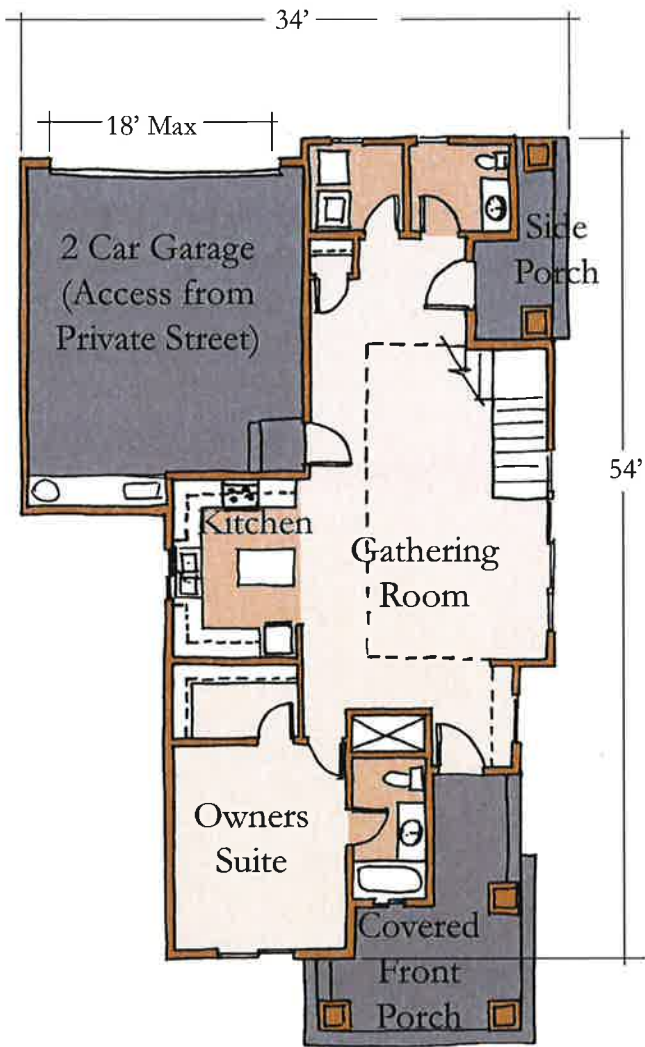


Exterior Colors Shall Be:
 Earth Tone/Natural Palette
 (No Primary Colors) Limited to
 Four Colors; Base, Trim, Accent 1
 & Accent 2 (See Sample Palette)
 All Vents, Gutters, Downspouts,
 Flashings, Electrical Conduits, Etc.
 Shall Be Painted to Match Color
 of the Surface to which it is Attached.

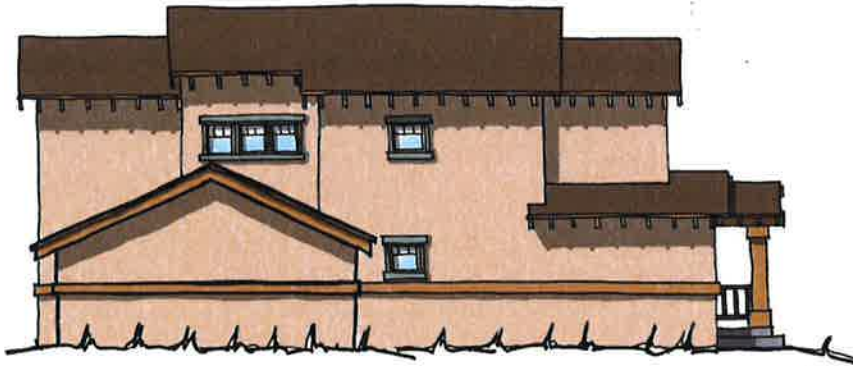
REAR

Typical Farmhouse Style

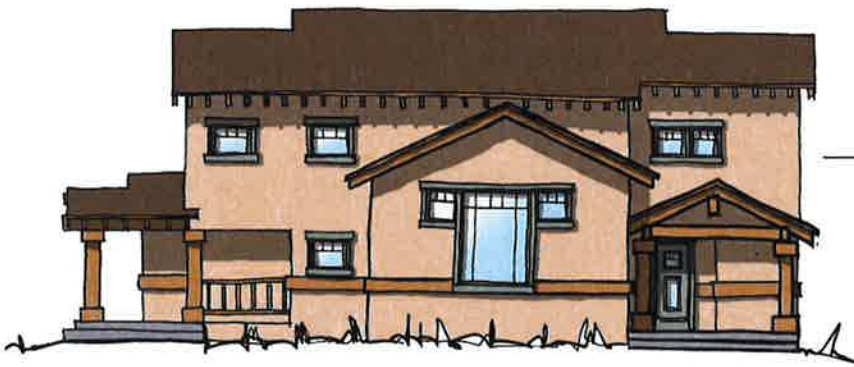
Exhibit 5.2-10a
Conceptual Illustration 2



**Exhibit 5.2-10b
Conceptual Illustration 2**



Side

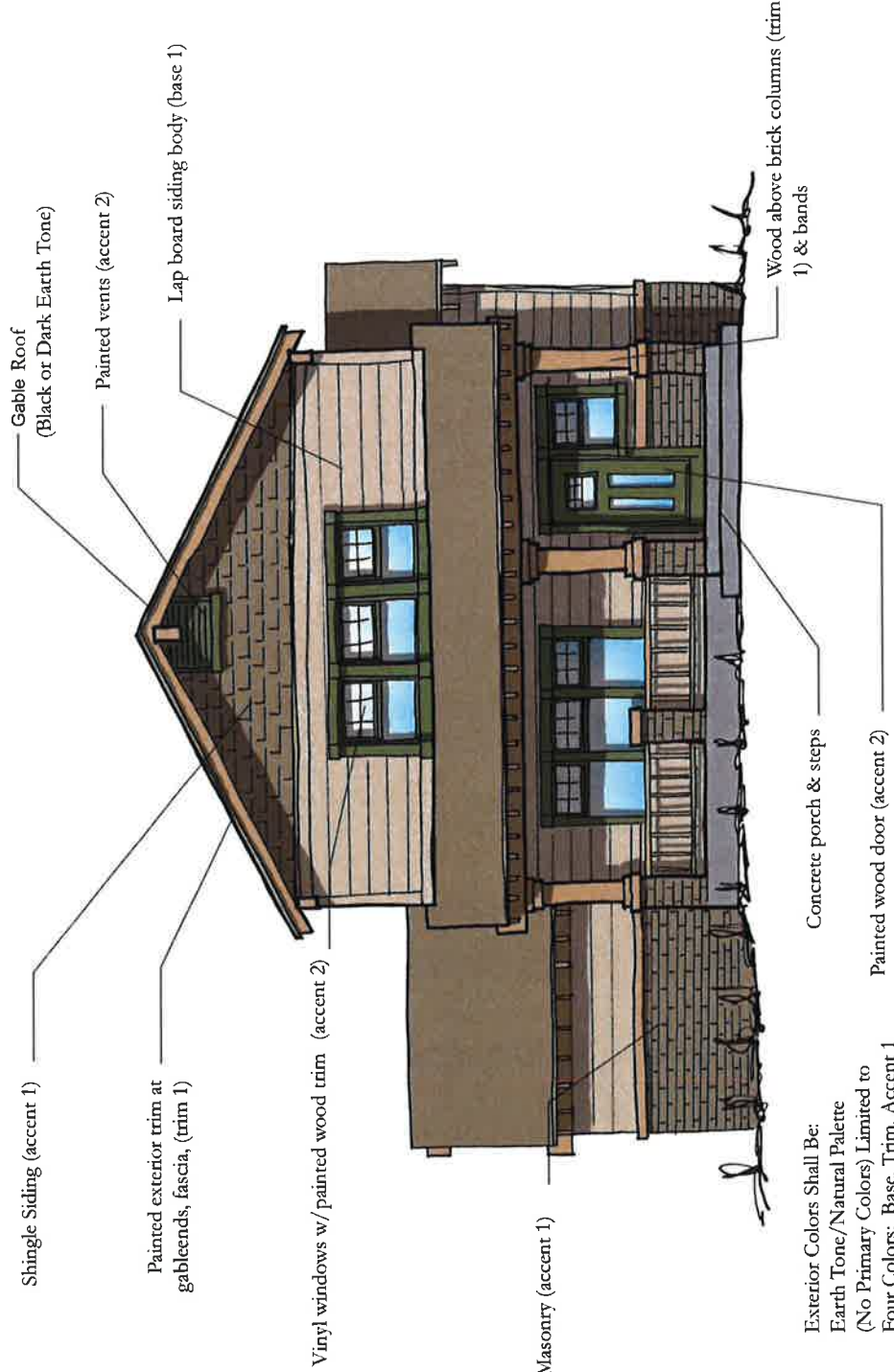


Side



Front

All colors, materials
And architectural
elements same as
Exhibit 5.2-10



Exterior Colors Shall Be:
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 (No Primary Colors) Limited to
 Four Colors: Base, Trim, Accent 1
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 Flashings, Electrical Conduits, Etc.
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REAR

Typical Farmhouse Style

Exhibit 5.2-11a
Conceptual Illustration 3

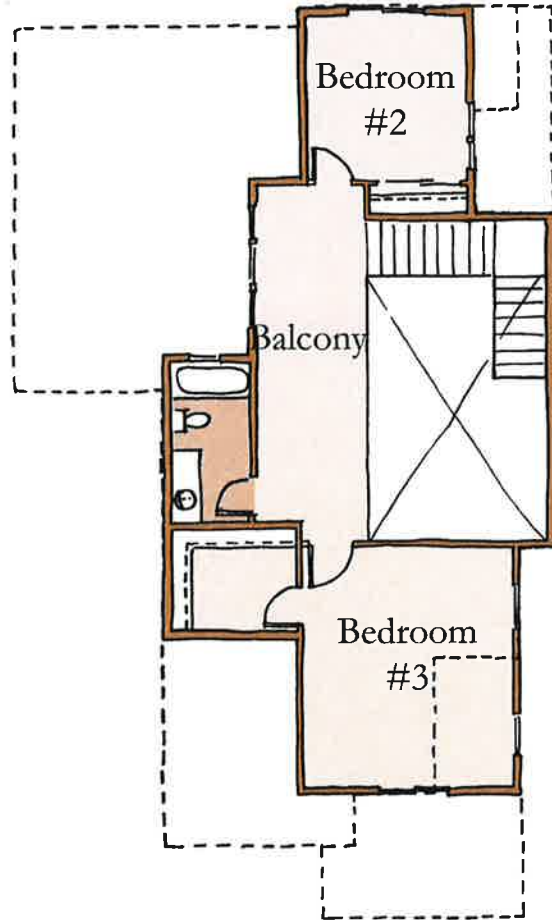
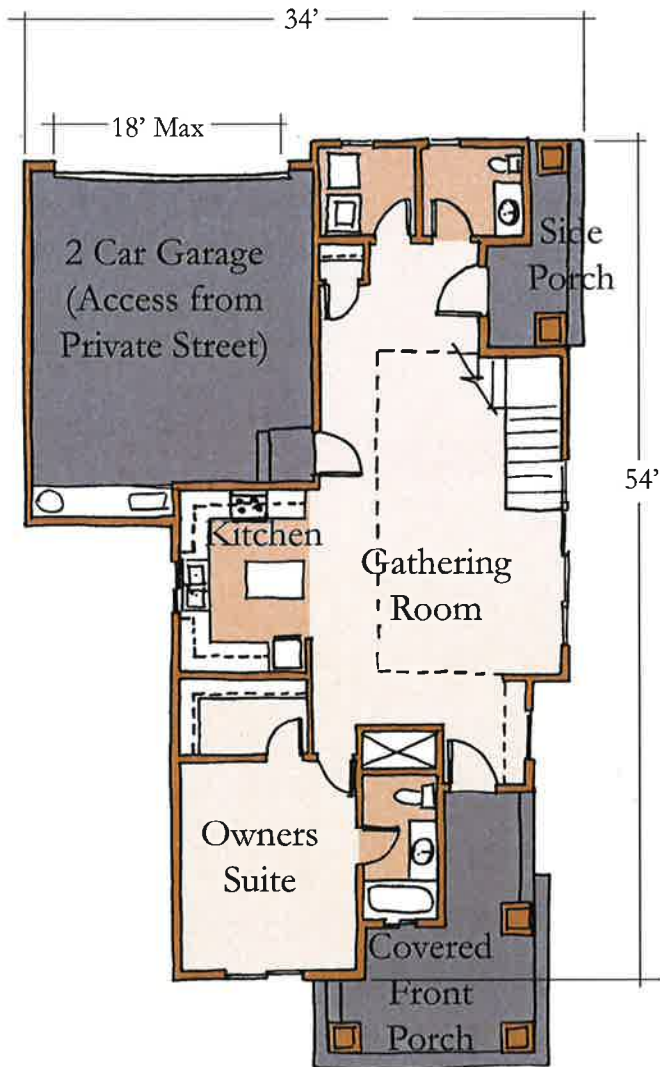
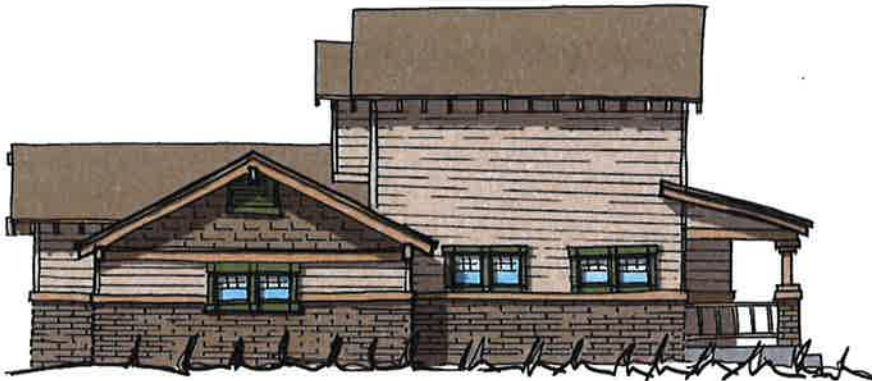
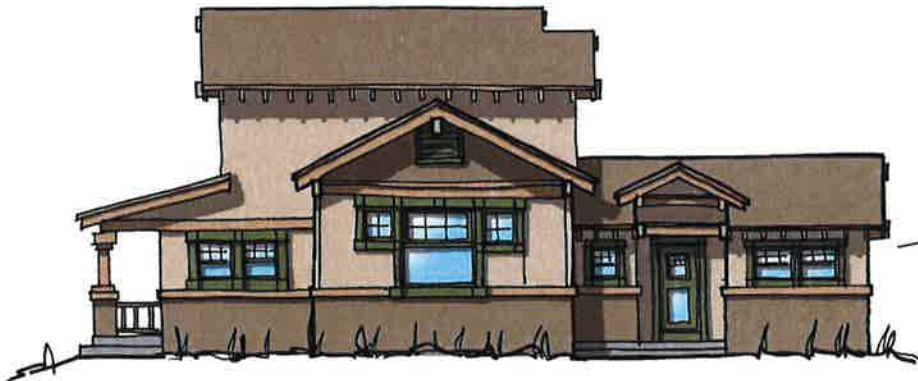


Exhibit 5.2-11b
Conceptual Illustration 3



Side



Side



Front

All colors, materials
And architectural
elements same as
Exhibit 5.2-11

5.3 COTTAGE HOMES – SMALL LOT SINGLE FAMILY

5.3.1 Design Concept

The street and building envelope layout is intended to provide a pedestrian scale neighborhood of housing or cottage homes that feature garage access from private streets and pedestrian access to sidewalks in surrounding common areas and adjacent collector streets. Refer to **Exhibit 5.3-1** for site plan concept.

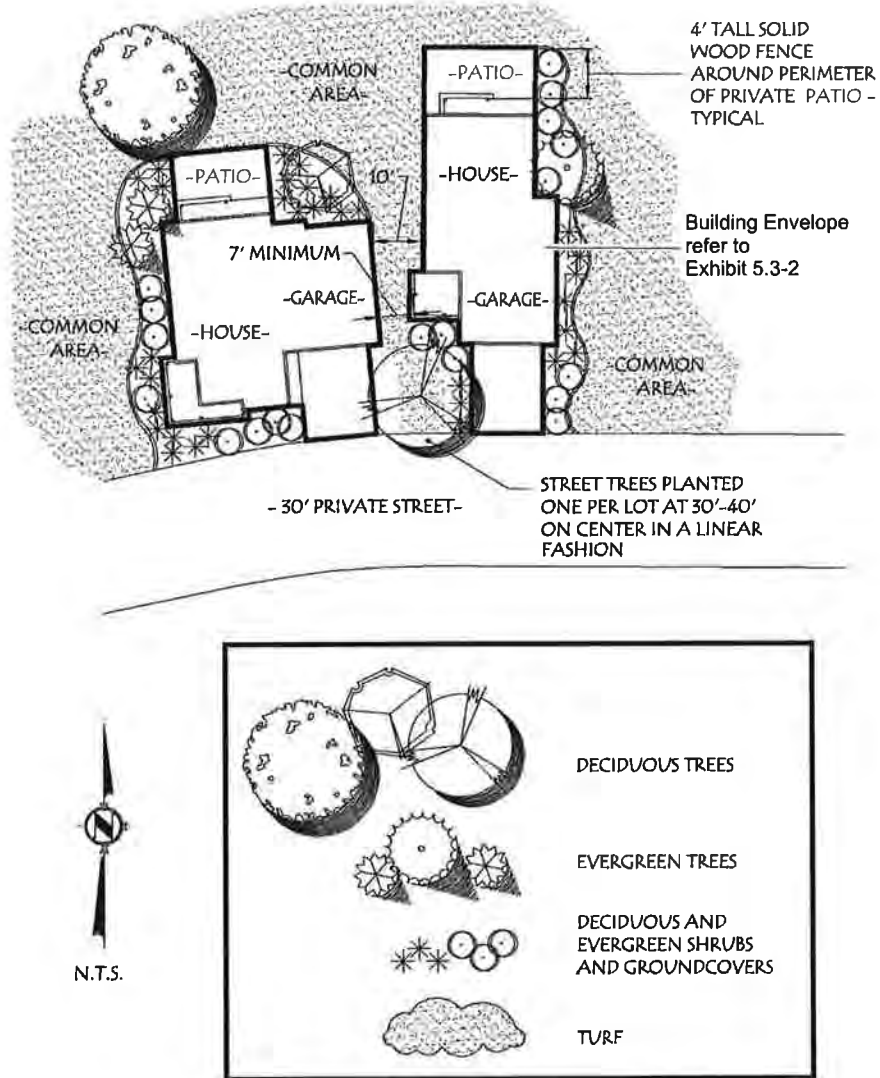


Exhibit 5.3-1
Cottage Homes Site Plan Concept

5.3.2 Setback Requirements and Local Road Standards

5.3.3 Front Yard Setback (see Summary in **Table 5.3-1 & Exhibit 5.3-2**)

The minimum front yard setback to the residence (Building Envelope) will be 8 feet measured from the back of curb or sidewalk. The garage shall be set back a minimum of 20 feet from the back of curb or sidewalk. A porch shall be 6 feet from the back of curb or sidewalk.

5.3.4 Rear Yard Setbacks (see Summary in **Table 5.3-1 & Exhibit 5.3-2**)

On all lots abutting the perimeter project boundary, no building may be closer than fifteen (15) feet to a rear exterior property line. Rear porches shall not be closer than 10 feet from a rear exterior property line. No accessory buildings are allowed. Internal to the project, the distance between building envelopes shall be 10 feet minimum.

5.3.5 Side Yard Setbacks (see Summary in **Table 5.3-1 & Exhibit 5.3-2**)

The minimum distance between building sides shall be ten (10) feet. Porches are allowed within seven (7) feet of an adjacent building side

**Exhibit 5.3-2
Typical Cottage Homes Lot Setback Configuration**

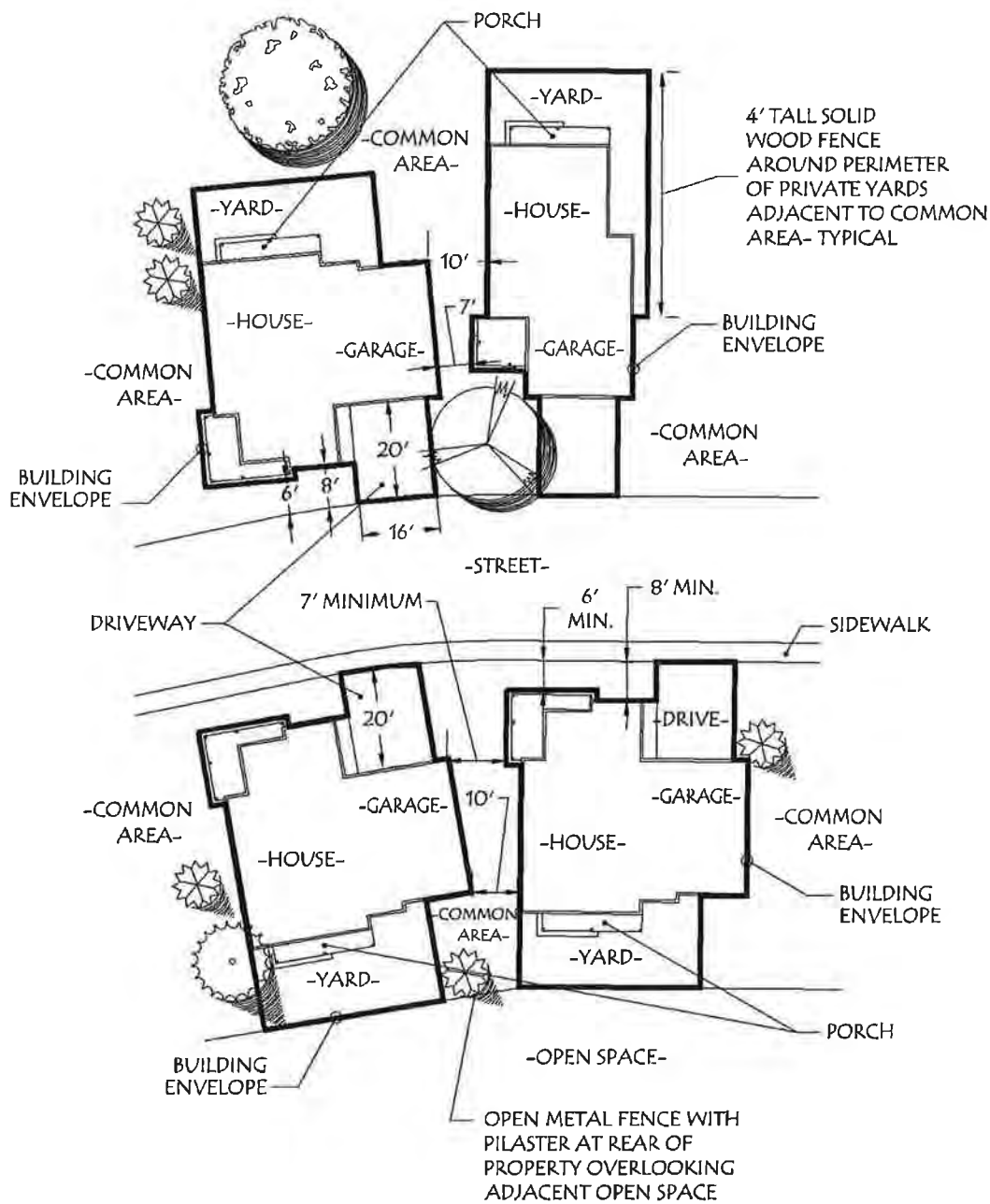


Table 5.3-1: Neighborhood Minimum Building Setback Requirements

TYPE	FEET	CONDITION
Front Setback	8'	To residence
(Measured from back of curb or sidewalk)	20'	To garage
	6'	To porch
*Rear Setback/ Building Separation	15'	To residence adjacent to exterior/property line
	10'	To residential Building Envelope within project interior
Side Setback/ Building Separation	10'	Separation between adjacent building envelopes or main structures.
	7'	Porch to adjacent building envelopes main structures
Common Area Equipment		No Minimum setback

5.3.36 Covered Porches

Covered porches are required on the front and rear of dwellings as illustrated on **Exhibits 5.3-7 to 5.3-8b**. Porches shall be a minimum of four (6) feet deep and be set back a minimum of six (6) feet from the back of curb or sidewalk, and seven (7) feet from the side.

5.3.47 Building Height

Maximum building height shall be two (2) stories with a maximum height for SMC.

5.3.58 Parking Requirements

Per City of Sparks Parking Ordinance 20.04.00949. In addition, one guest parking space shall be provided for every two (2) units in guest parking lots evenly distributed in common areas.

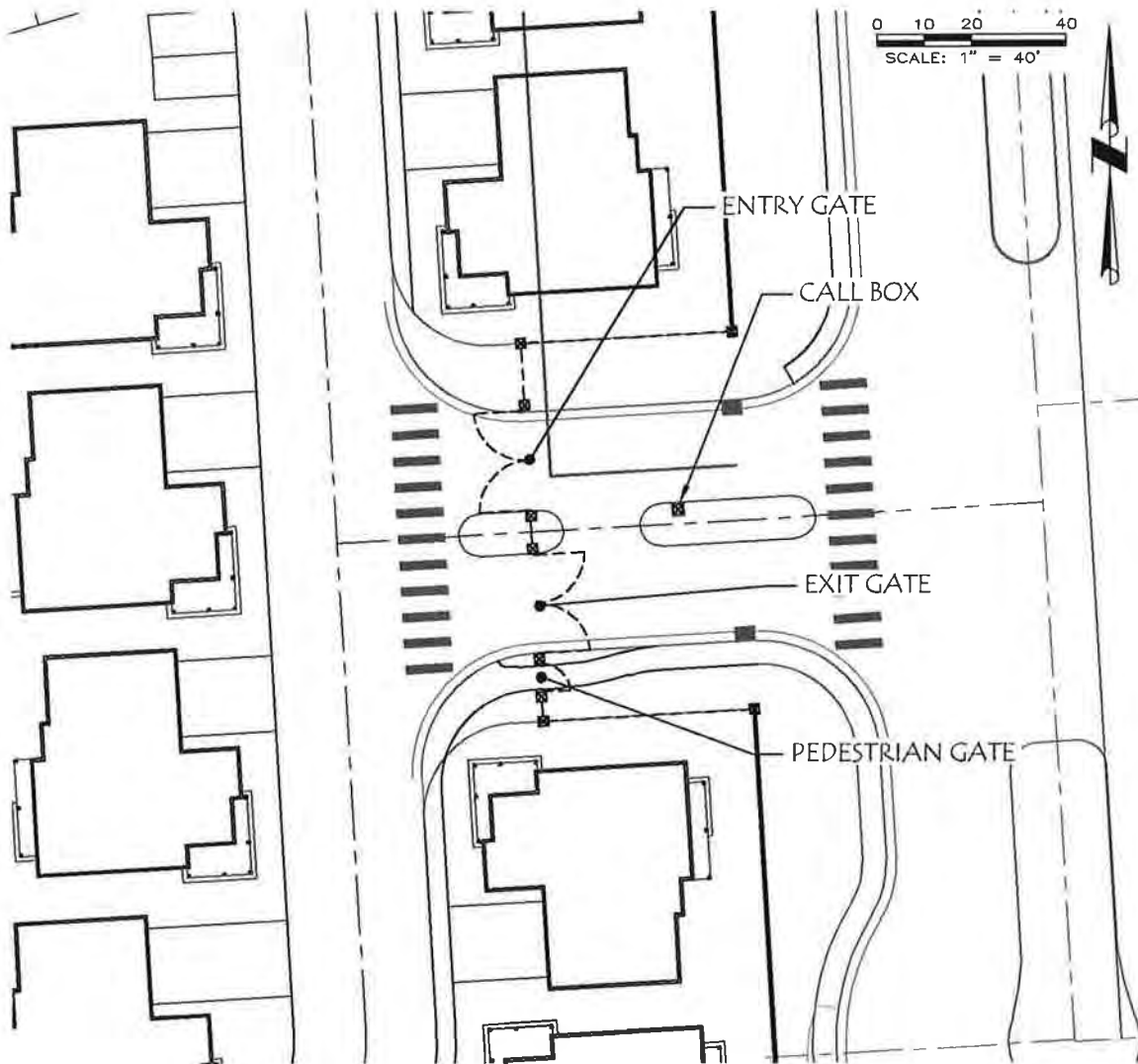
5.3.69 Streets

Private streets to serve as access to garages on all lots shall be developed per the design standards notes on **Exhibit 3-6**. There is no on street parking allowed on private streets. Public streets may also be used per the requirements of **Exhibit 3-5**.

5.3.710 Gates

The community has the option to be gated providing a secure environment for the residents. There will be a primary access off of and a secondary emergency access off of Collector Streets. (See Exhibits 5.3-3 and 5.3-4)

**Exhibit 5.3-3
Primary Entry**



**Exhibit 5.3-4
Elevation/Access Gate**

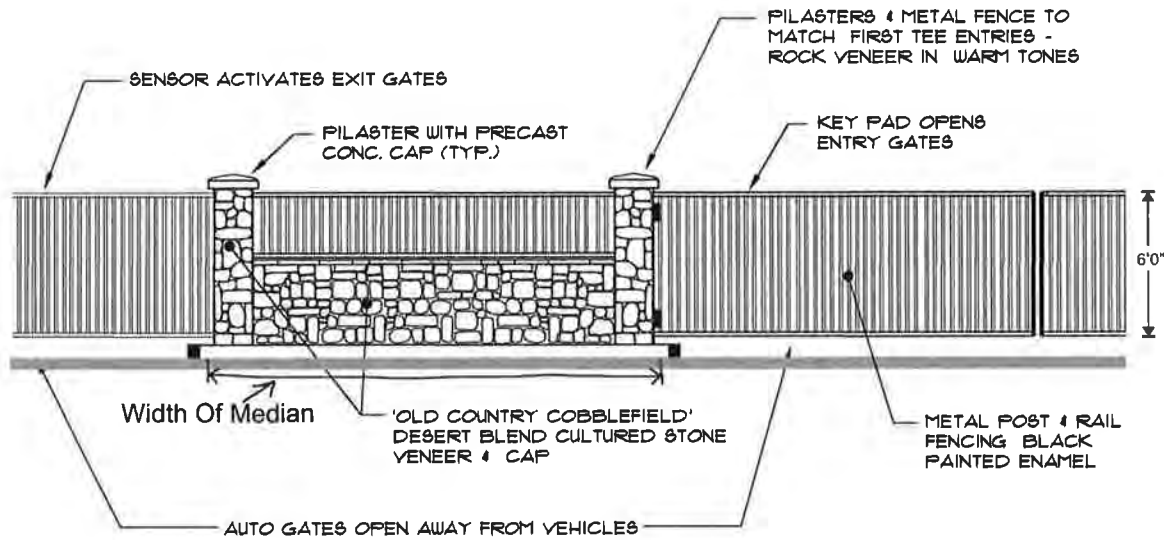
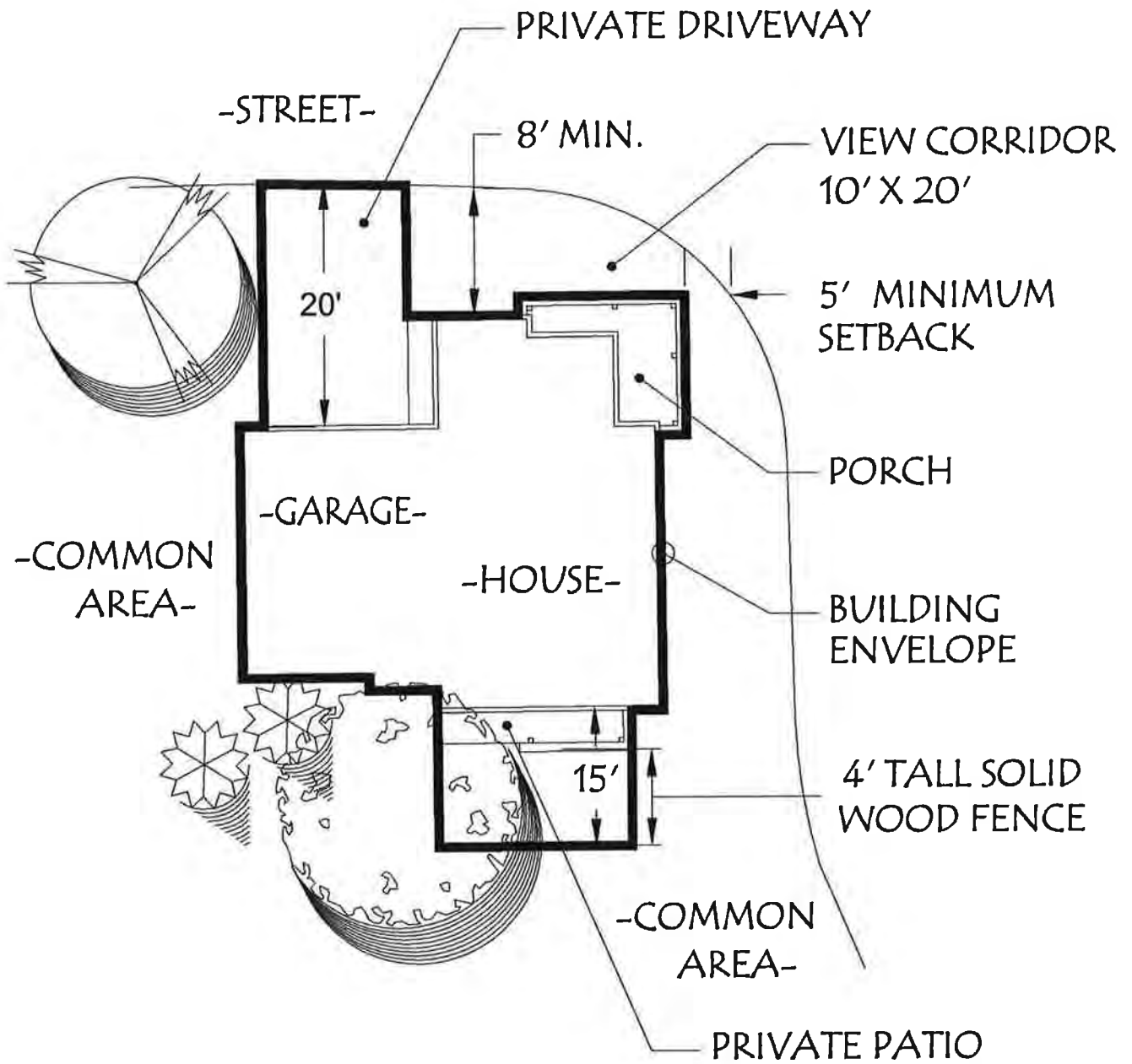


Exhibit 5.3-5
Cottage Homes Corner Lot Side Yard Setback



5.3.811 Architectural Projections

Architectural projections such as fireplaces, box-outs, media niches, porches, etc. are not permitted.

5.3.912 Usable Open Space see summary in (**Table 5.3-1, Exhibit 5.3-6 to 5.3-7**)

Minimum usable rear yard private space shall be 200 square feet for a two-bedroom home or 300 sq. ft. for three-bedroom residence, including covered porches.

5.3.103 Accessory Buildings/Shade Structures

Accessory buildings and shade structures, including detached are not permitted.

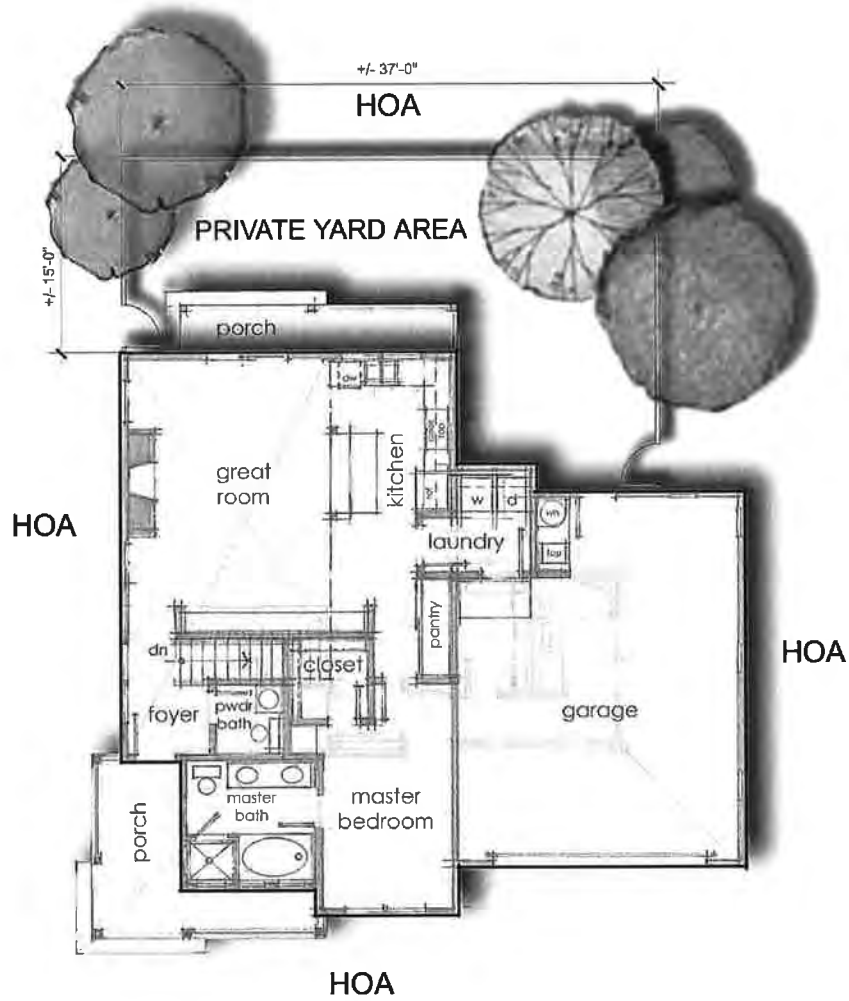
5.3.114 Corner Lot Side Yard Setback

The minimum side yard adjacent to a street shall be 10 feet from the back of curb or sidewalk. Front porches are allowed with (5) five feet from back of curb. (**Refer to Figure 5.3-5**)

5.3.1215 Amenities

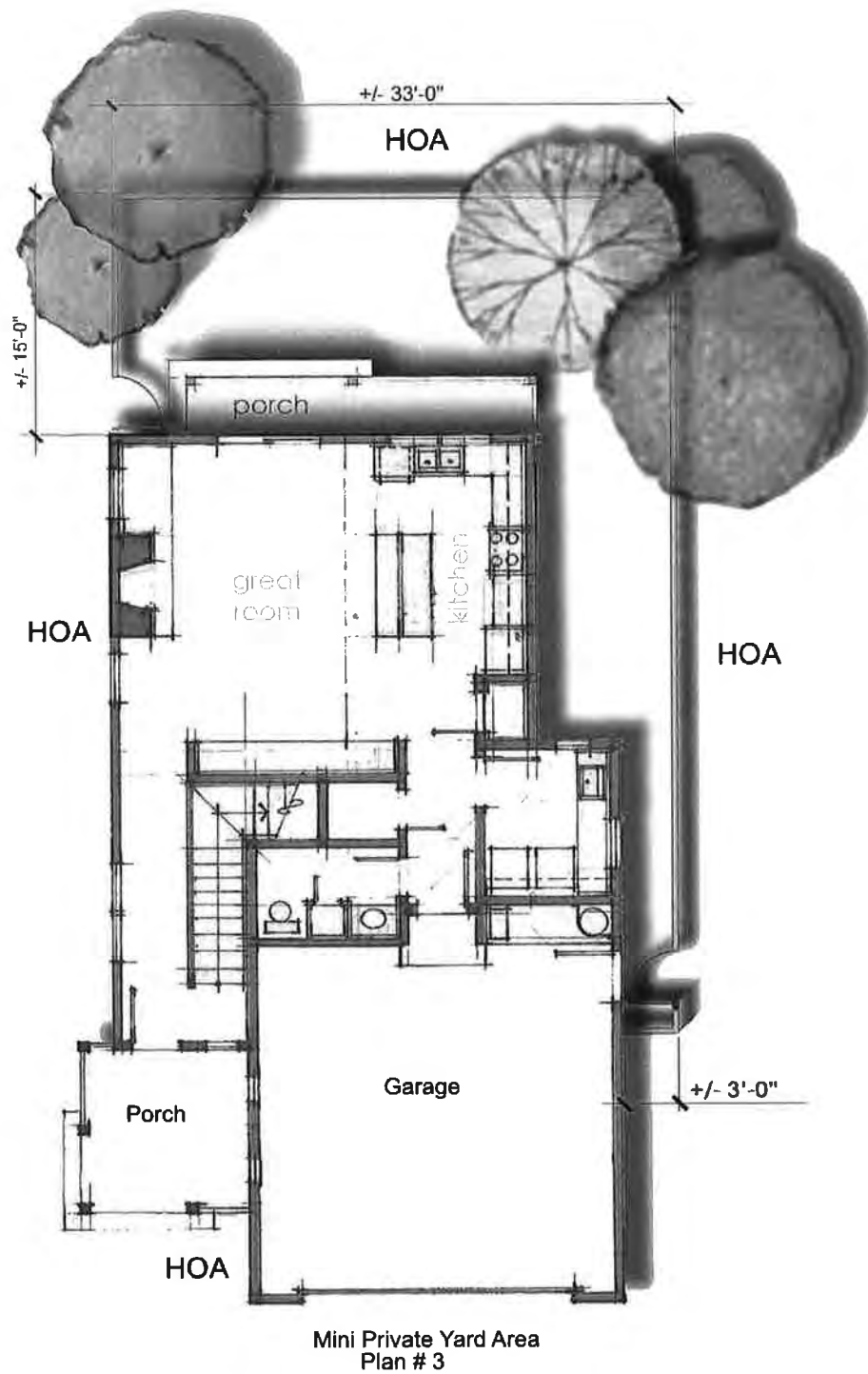
Tot lot, barbeque areas, & open game play areas as determined with Tentative Map approval.

Exhibit 5.3-6
Minimum Private Yard Area



MINIMUM PRIVATE YARD AREA
Plan #1 & Plan #2

**Exhibit 5.3-7
Minimum Private Yard Area**



5.3.1316 Implementation

Preliminary floor plans and elevations for all single-family cottage homes are included with this handbook (Refer to **Exhibit 5.3-9 to 5.3-11b**) A design theme will be consistently applied throughout the single-family cottage home development as conceptually illustrated in **Exhibits 5.3-9 to 5.3-11b**. The design standards below will provide additional means for review of the final design plans.

5.3.1417 Architectural Standards

- 5.3.1417.1 Exterior elevations shall demonstrate a unified appearance. The architectural character of the individual dwellings (i.e. window trims, cornices, arches, etc.) shall be utilized on all elevations of the structure. The following conceptual illustrations define the unified appearance required. Refer to **Exhibits 5.3-9 to 5.3.11b**.
- 5.3.1417.2 Building facades (all sides) shall be articulated by using color arrangement, or change in materials to emphasize the façade elements. Design elements and detailing shall be continued completely around the structure. Such design elements shall include window treatments; trim detailing, and exterior wall materials. Refer to **Exhibits 5.3-9 to 5.3.11b**.
- 5.3.1417.3 Trim and detail work on garages shall be consistent with that of the main structure.
- 5.3.1417.4 Once an architectural style has been developed within a village, it shall apply to all buildings/structures within that village.
- 5.3.1417.5 The main entrance shall have a sense of prominence that is reflected in the design. It shall include either a pair of doors with or without sidelights, an oversized door, or a single door with sidelights. The main entrance shall contain more detail and scale than other openings but be consistent in styling. Refer to **Exhibits 5.3-9 to 5.3.11b**.
- 5.3.1417.6 The exterior finish of window frames and doors shall be made of wood, vinyl, vinyl-clad wood, or vinyl-clad aluminum. Glazing shall be clear, gray, or bronze tinted only. Reflective glass will not be allowed.
- 5.3.1417.7 All exterior windows and doors, regardless of final material selection, shall utilize trim. Refer to **Exhibits 5.3-9 to 5.3.11b**.
- 5.3.1417.8 Exterior materials shall be selected for their durability and ease of maintenance.
- 5.3.1417.9 Accent materials such as stone and brick wainscoting shall be used on a minimum of 50% of the homes but must wrap the sides of the house a minimum of 2' and stop at a typical break point.
- 5.3.1417.10 The use of plywood, sheet siding, or manufactured sheet siding is prohibited
- 5.3.1417.11 All exterior siding materials are subject to review and approval by the SAC and Administrator and shall be submitted at the time of Tentative Map submission.

- 5.3.1417.12 Renderings depicting colored exterior elevations (all sides) and conceptual floor plans shall be submitted to the SAC and Administrator at the time of Tentative Map submission. Refer to **Exhibits 5.3.9 to 5.3.11b**.
- 5.3.1417.13 Exterior colors shall be of an earth tone/natural palette, complementary with the natural surroundings inherent to Stonebrook. No primary colors will be allowed. The amount of colors permitted on a single residence shall be limited to a maximum of 4 colors; base, trim, accent 1 and accent 2. A fifth color may be permitted only in the instance of an attached appurtenance, i.e. porches in white will be allowed. Specific sample color palettes for body, trim and accent colors shall be submitted to the SAC, for review and approval prior to submittal and approval by the City. Color Palette shall be submitted at the time of Tentative Map submission. Refer to **Exhibits 5.3-7 and 5.3.11b**.
- 5.3.1417.14 All vents, gutters, downspouts, flashings, electrical conduits, etc., shall be painted to match the color of the surface to which it is attached. Refer to **Exhibits 5.3.9 to 5.3.11b**.
- 5.3.1417.15 No flat roofs shall be permitted within the residential portions of Stonebrook. Roofs shall be designed in direct scale and proportion to the structure. Roof massing shall be reviewed and approved by the SAC and Administrator.
- 5.3.1417.16 Hip, gable, and shed roofs are all required roof forms. Roof slopes shall have a minimum of four feet and a maximum of ten feet of vertical rise for every 12 feet of horizontal run. Refer to **Exhibits 5.3.9 to 5.3.11b**.
- 5.3.1417.17 Roof materials shall be comprised of non-flammable, non-reflective, color treated materials. All roofs must be, at a minimum, rated Class A Fire Retardant or Better.
- 5.3.1417.18 Roof materials shall be concrete or clay tiles, non-reflective color treated metal roofing, which mimics shake or slate roofing, or 40-year architectural grade composition shingles. All proposed roofing material should have the approval of the SAC and Administrator.
- 5.3.1417.19 Roof material shall be submitted for review at the time of Tentative Map submission.
- 5.3.1417.20 No roof mounted mechanical equipment, antenna or appurtenances shall be permitted. One satellite dish per structure may be permitted, provided the dish is 18" in diameter or less and mounted discretely, to the approval and enforced by the SAC, on an eave or soffit to maximize screening.
- 5.3.1417.21 Detached/attached accessory structures are not allowed.
- 5.3.1417.22 All house addresses shall be clearly readable from public right of ways.
- 5.3.1417.23 All exterior mounted light fixtures shall be complementary to the design of the structure they serve and must consider the following minimum guidelines:
- Direct light source must be concealed from typical lines of sight, (i.e. vehicular, and pedestrian)
 - Exterior mounted lights shall not exceed 12' in height

- 5.3.4417.24 A minimum of 50% of the homes shall have 6' deep covered porches as depicted in **Exhibits 5.3.9 to 5.3.11b** provided they meet the required setbacks.
- 5.3.4417.25 **Exhibits 5.3.9 to 5.3.11b** depict detail elements (such as shutters, chimneys, porch columns with bases and caps, horizontal boards etc.) which shall be included in the residential design of the homes, where applicable to the architectural style.
- 5.3.4417.26 There shall be a 2-foot minimum horizontal plane separation from the garage and living portions of the façade.
- 5.3.4417.27 Front porch entries will face the main street and shall appear as an integral part of the design.
- 5.3.4417.28 All residential parcels shall contain a variety of architectural styles that shall be specified with each Tentative Map Submittal. The styles such as Craftsman, French, Spanish, Farm House etc. shall contain basic elements that reflect the style such as:

Farmhouse: (Refer to Conceptual Illustration **Exhibit 5.3.9 and 5.3.11**)

Basic Elements

- Variable pitched roofs with moderate overhangs
- Expressive structural elements such as rafters, brackets and columns
- A mixture of materials such as stone, stucco and wood siding
- Porches incorporating heavy timber columns with knee braces
- Window sizes shall conform to the architectural style

Building Mass and Roofs

- Roofs gabled with a pitch range from 3 in 12 to 9 in 12 for the main roof
- Roofs simple gable, hipped or gambrel forms often with dormers
- Roof materials to be 40-year composition asphalt shingles, concrete tile or clay tile

Building Articulation

- Simple eave projections with trimmed rafter tails and fascia
- Broad porches encompassing the majority of the house front or rear
- Piers and balustrades of the same material as the main mass of the house
- Porch balustrades are connected to column supports

Doors and Windows.

- Doors paneled or a combination of paneled and glazed and entries usually occur singularly
- Doors have sidelights and transoms
- Windows and doors have trim details over the window head and doors
- Box and angled bay windows used as accents
- Picture windows
- Windows double hung with multiple pane over one division
- Window and door sizes shall conform to the architectural style

Materials and Colors

- Walls clad with stucco or wood siding
- Stone and brick used as accents

5.3.1618 Lighting

The functional objectives in providing exterior area lighting are to illuminate areas necessary for safe and comfortable use. In certain situations, area lighting can add to the aesthetic appeal of a site by highlighting architectural features of a building or illuminating pathways and landscape plantings. In these instances, only the special features of a building or landscape shall be illuminated. It should be noted that the following standards address area lighting on individual properties.

5.3.1719 Standards

- Driveway, walkway, and building lights shall be directed downward.
- Illumination for aesthetic or dramatic purposes of any building or surrounding landscape utilizing exterior light fixtures project that light beyond the property line shall be prohibited.
- Lighting Levels: No consistent overall lighting and overly bright lighting shall be permitted. Lighting for pedestrian movement shall be permitted if it only illuminates entrances, changes in grade, path intersections, and other areas along paths.
- Lighting Height as a rule, the light source should be kept as low to the ground as possible while ensuring safe and functional levels of illumination. Area lighting shall be directed downward with no spill of lighting beyond the property line

The Developer shall be responsible for installation of all landscaping for neighborhood entrances and open space areas consistent with the intent and material requirements of the Design Standards throughout the PD. Maintenance of these areas shall be the responsibility of the HOA.

5.3.1820 Fencing Design and Installation Requirements

5.3.1820.1 Residential Fencing

At the time of home construction, all Developers shall be required to submit plans for approval to install fencing that encloses the entire private porch/patio area for each residence. Fences shall be installed prior to final inspections. Fencing for private porches/patio shall be solid wood private fencing not to exceed four (4) feet in height. All fencing adjacent to open space shall be open metal fencing. (Refer to **Exhibit 11.5**) Fencing adjacent to exterior collector streets shall be six (6) foot collector street fencing with pilasters. (Refer to **Exhibits 11.2**) Fencing between adjacent units shall be a shared six (6) foot solid wood fence "Good Neighbor" style fence. (Refer to **Exhibit 11.4**)

5.3.1820.2 Common Area Fencing

The Developer shall retain responsibility to ensure all fencing is consistent with the intent and material requirements of the Design Standards throughout the project. (Refer to **Exhibit 11.5 and Section 11**)

5.3.1921 Landscape Standards

5.3.1921.1 Functional Requirements

Single-family cottage homes will be developed with typical common area landscape plans establishing design details, and construction specifications prepared by a landscape architect. Typical landscape and irrigation construction plans will be submitted for approval by the City of Sparks. Developers shall be responsible for installation of common area landscapes and irrigation systems prior to final inspection for the cottage homes.

5.3.1921.2 Landscape & Irrigation Requirements

Common area landscapes shall be designed utilizing low water demand principles and plant material. Homeowners will be encouraged to utilize low water demand principles in landscaping rear patio area. Developers of residential lots will be required to install the initial vacuum breaker and valves with an automatic controller for the rear patio area.

5.3.2022 Recreation and Common Area Landscaping Requirements

5.3.2022.1 Common Area Landscaping

There shall be approved landscape plans for each development phase establishing design details, construction specifications and recommended maintenance and watering programs prepared by a landscape architect submitted by the developer, with the Final Map, for approval by the SAC and the City of Sparks

5.3.2022.2 Lawn Areas

Within linear common areas along roads, lawn areas shall be limited to between 25% and 50% of the total area. The remainder area shall be planted with living ground covers and shrubs.

Within recreation areas such as group picnic areas and common areas, lawn areas shall be at least 50% but not exceed 80% of the total area not covered by paving, or buildings.

The remaining areas shall be planted with living ground covers and shrubs, with a maximum 10% inert ground cover material allowed.

5.3.2022.3 Shrubs and Ground Covers

Sixty percent shrubs and plants shall be 5 gallon or larger material. Ground cover and vines may be installed as 1-gallon materials or from flats at a maximum of 40% of the shrubs and ground cover area.

5.3.2022.4 Trees

Within common area and recreation areas 50% of all deciduous trees shall be a minimum of 1.5-inch caliper, 50% 2-inch caliper, conifers shall be a minimum of 8-foot in height at time of planting.

**Table 5.3-2: Common Area Ornamental Landscape Development
Minimum Landscaping Requirements Per 1,000 Sq. Ft. of Area**

PLANT MATERIALS	QUANTITY	PLANT SIZE	CALIPER SIZE (min.)
Turf	70% max. cover	Sod	
Shrubs	10	5-gallon	
Living ground cover & additional shrubs	30% min. cover	5-gallon (or equal)	
Deciduous Trees	4	B&B or Box	2"
Evergreen Trees	2	8 ft. height	
Street Trees	1 (per residence min.)	B&B or Box	2"

5.3.223 Landscaping Installation and Maintenance

In addition to common area landscaping, the Developer shall be required to install landscaping and irrigation along all major roadways including right-of-way and at the entrance of the project. The Developer shall be responsible for all landscaping and irrigation required within the common area and common recreational facilities. As streets are constructed associated landscaping shall be installed.

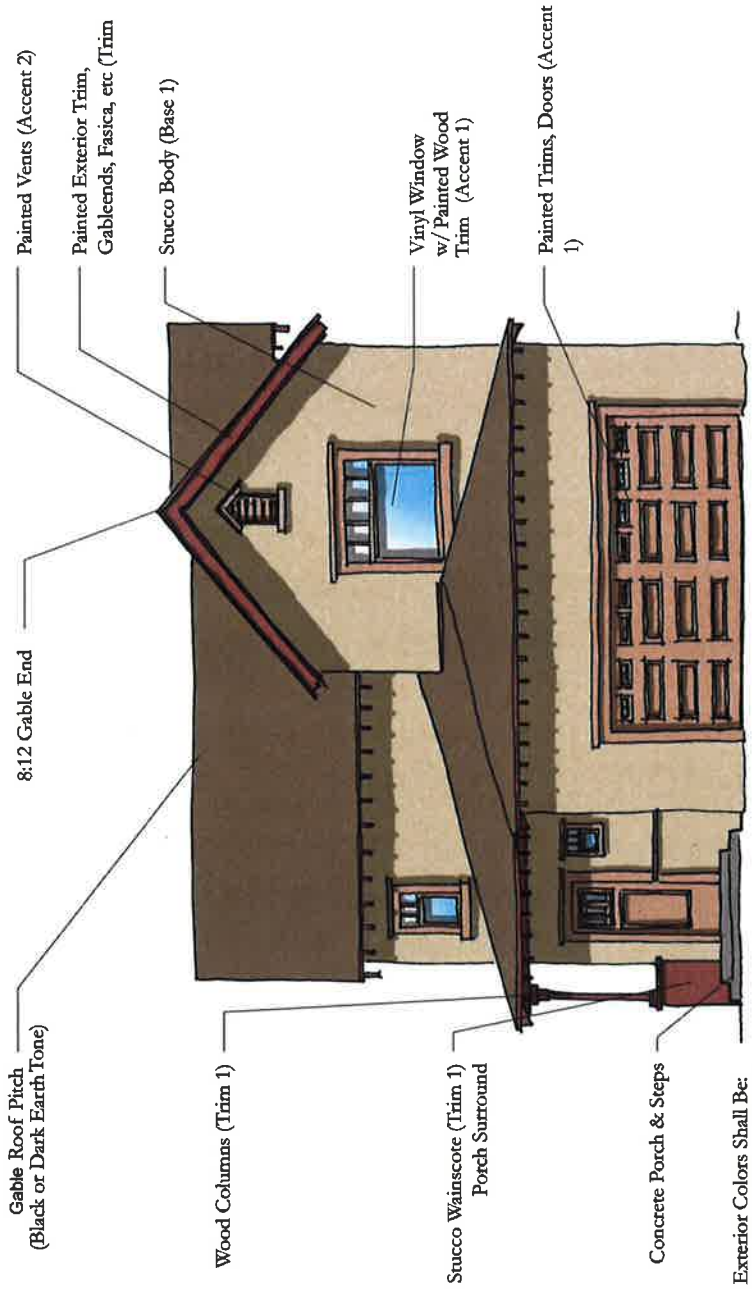
Individual lot owners shall be responsible for maintenance of all private rear patio landscaping and irrigation once installed. The Homeowners Association (HOA) will be responsible to maintain all landscaping and irrigation within common areas and common recreational facilities. The maintenance of all major roadway buffer landscaping shall be as outlined in Chapter Two of the Development Design Handbook.

All landscaped areas where turf grass is not used shall be covered with herbaceous shrubbery/prostrate ground cover. Bark mulches or stone cobble (4") are required to cover bare ground temporarily exposed during the maturation period of the ground cover. Planting areas shall be designed to achieve 90% ground coverage within three (3) years. Non-living materials (bark mulches and stone cobble) may not be used for more than 10% of the total landscape area and excludes the area of temporary coverage allowed for all plants and ground cover maturity.

5.3.224 Model Home Facilities, Temporary Sales Trailer/Construction, Construction Hours.

5.3.224.1 Model Home complexes shall be reviewed and approved by the SAC and Administrator at the time of Sales Office permit Application. The standards of Sparks Municipal Code, Section ~~20.41.090~~ and ~~20.41.080~~ and ~~20.41.110~~ 20.03.040(A)(f) Model Home Complex shall apply.

5.3.224.2 Construction hours shall be limited to Monday – Friday 7 a.m. to 7 p.m., Saturday 9 a.m. to 5 p.m. and prohibited on Sundays.

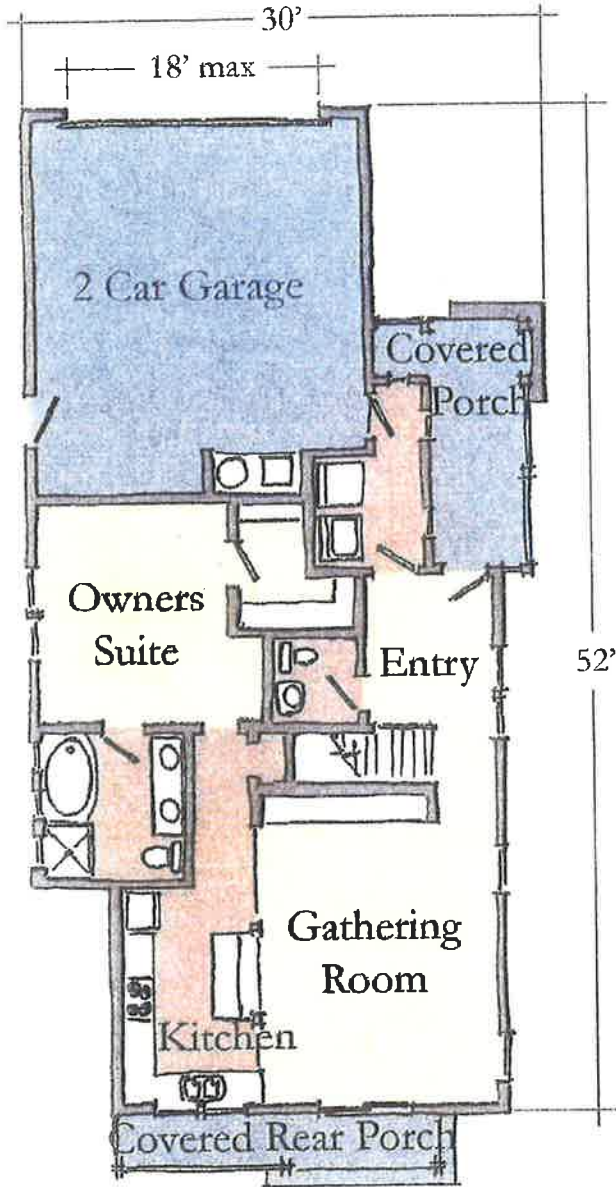


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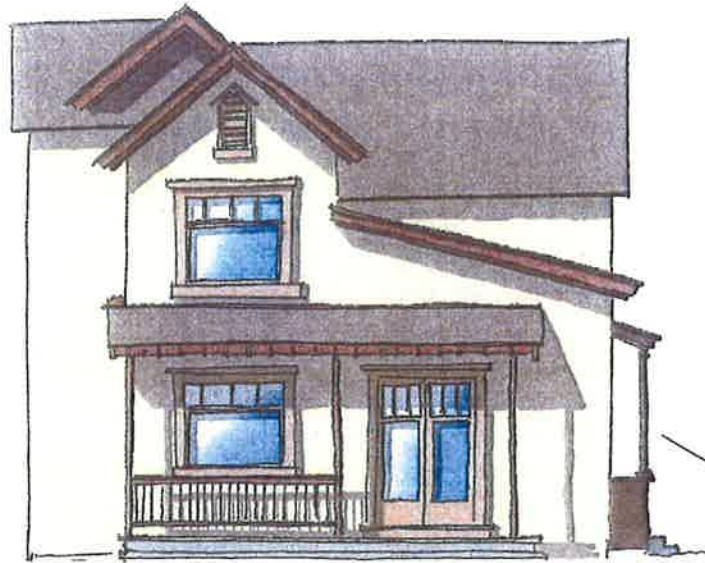
FRONT

Typical Farmhouse Style

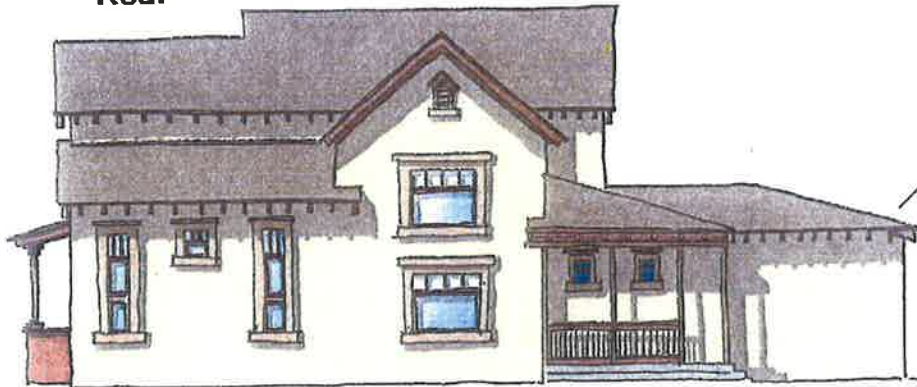
Exhibit 5.3-9a
Conceptual Illustration 1



**Exhibit 5.3-9b
Conceptual Illustration1**



Rear

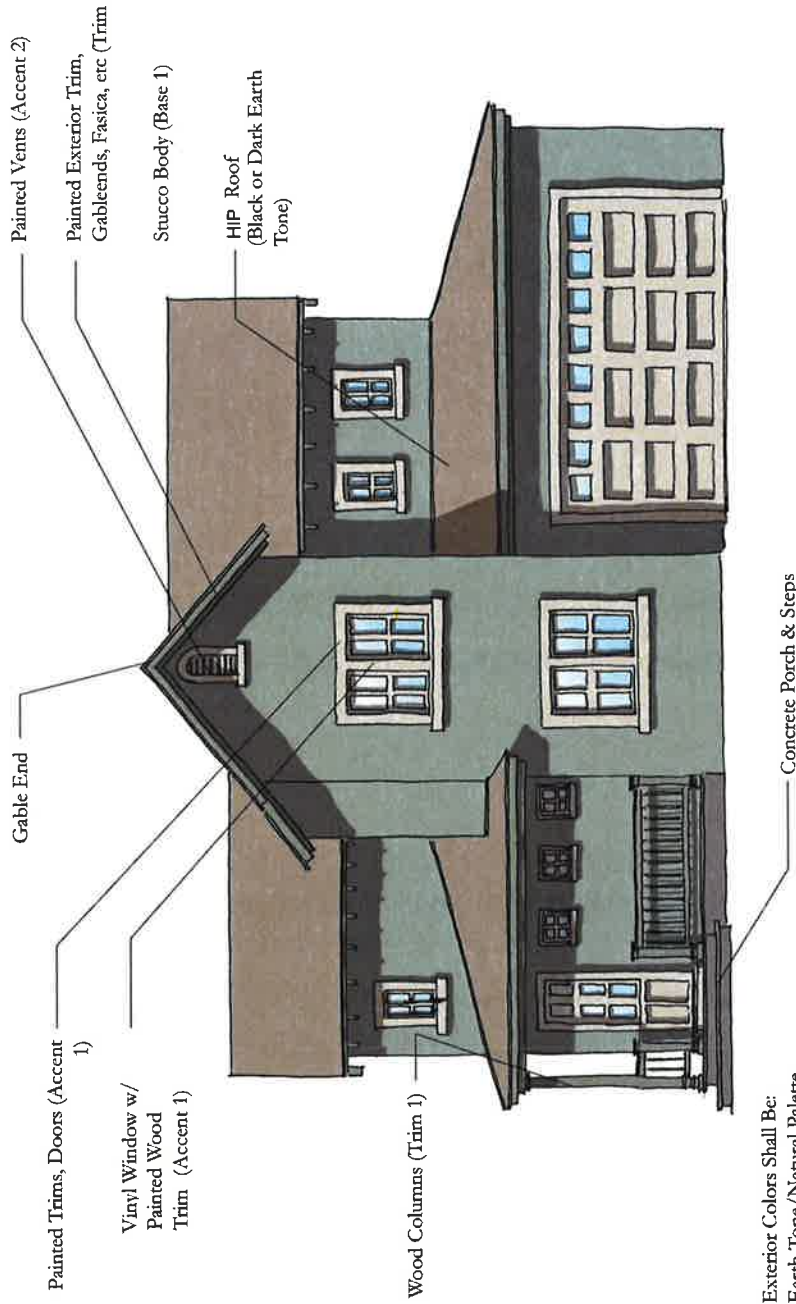


Side



Side

All colors, materials
and architectural
elements
same as Exhibit
5.3-9



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FRONT

Typical Farmhouse Style

Exhibit 5.3-10a
Conceptual Illustration 2

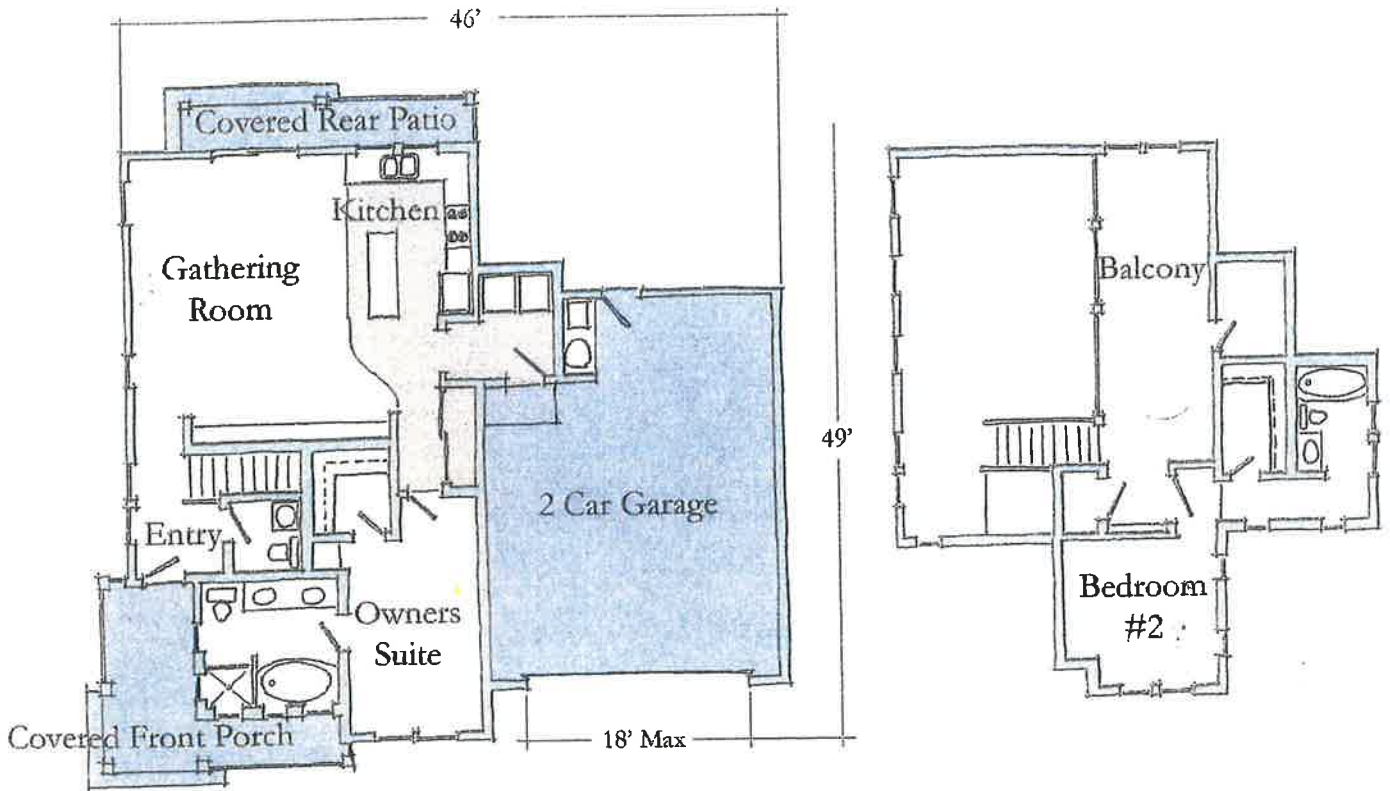
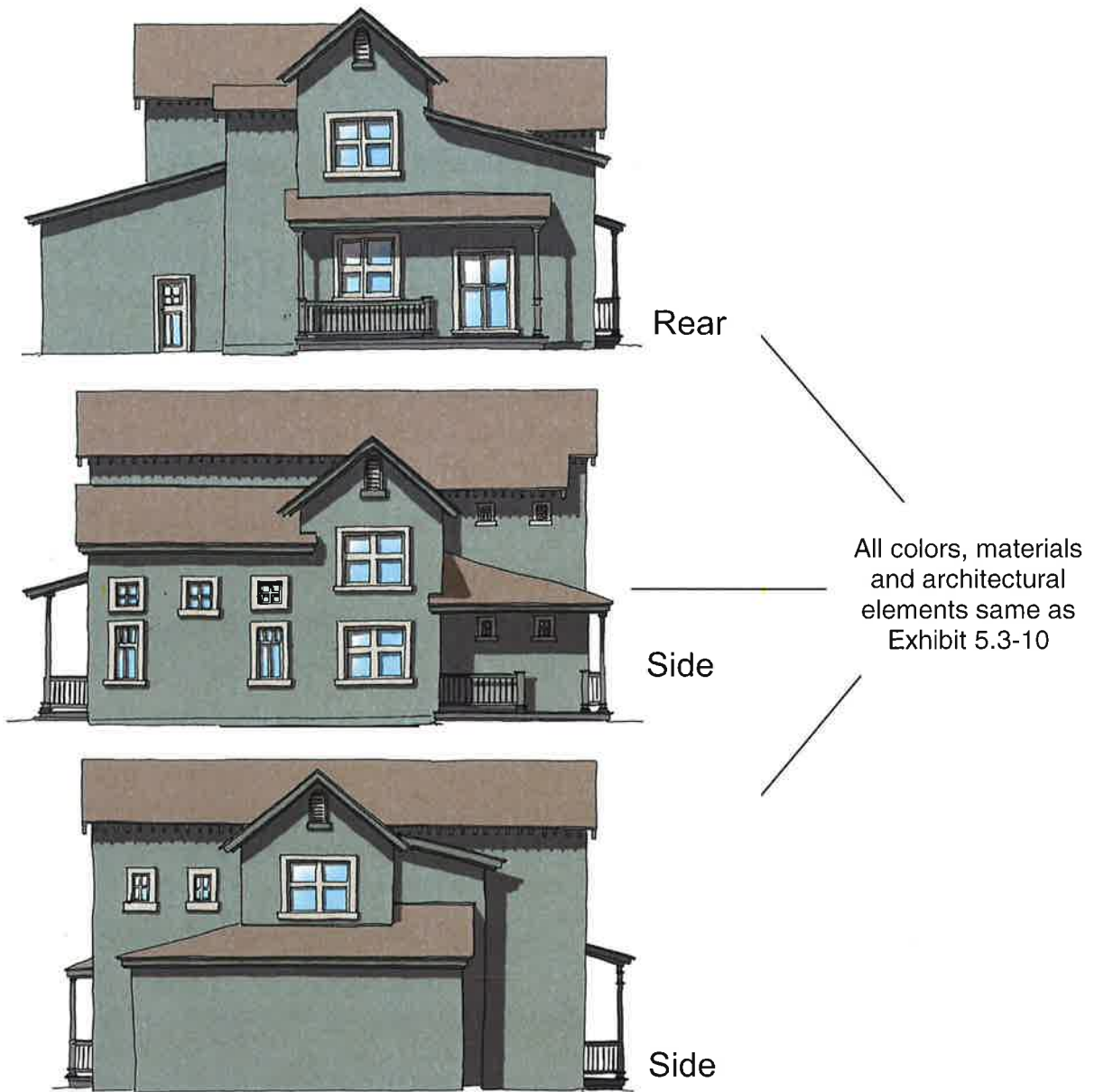
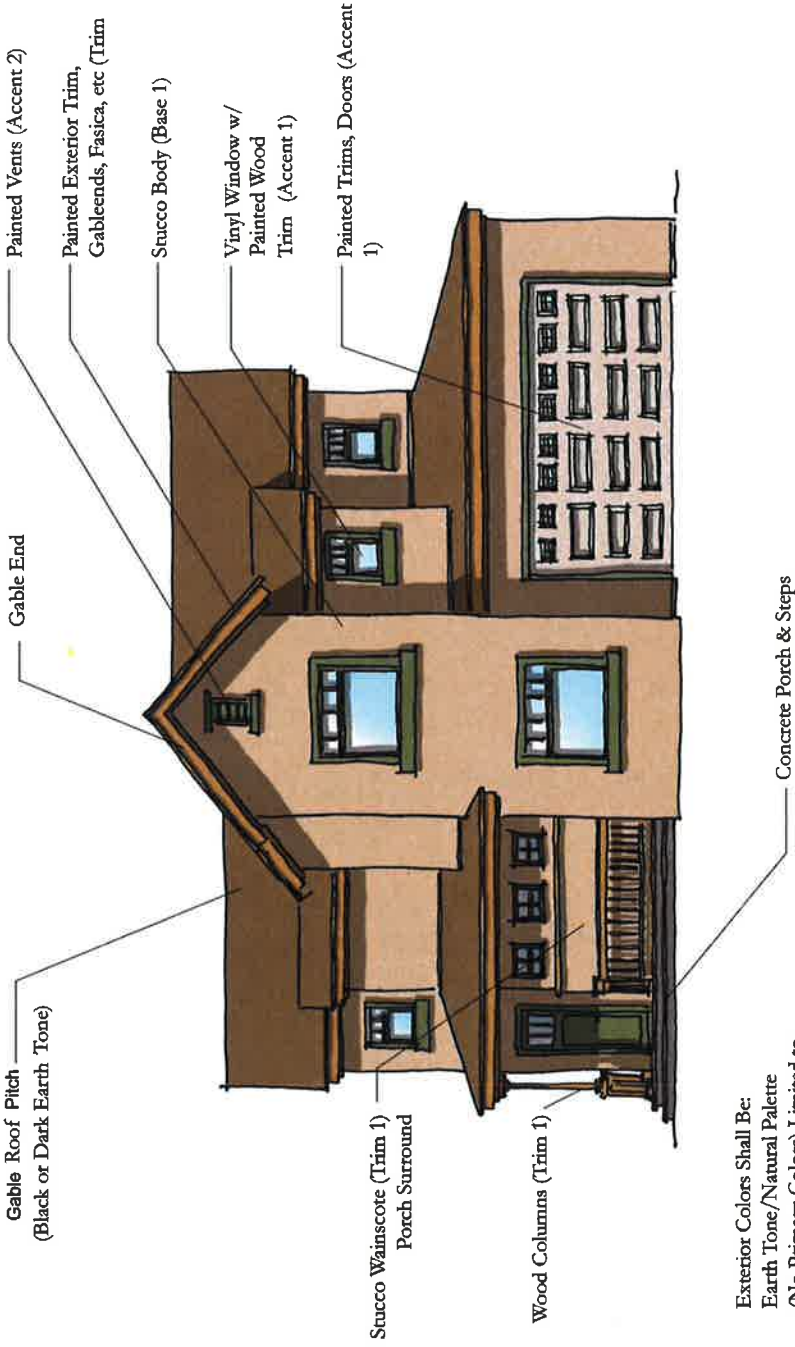


Exhibit 5.3-10b
Conceptual Illustration 2



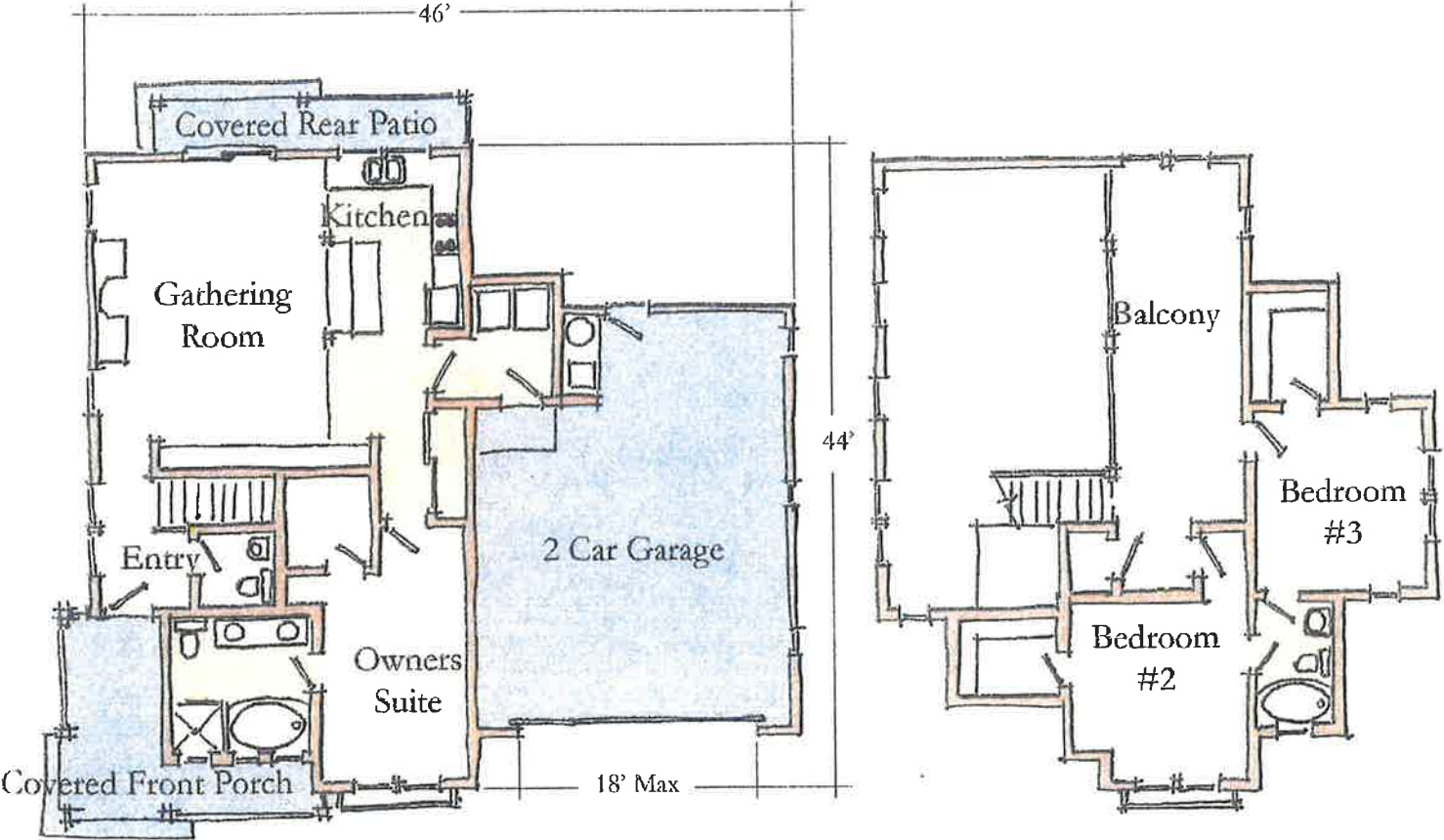


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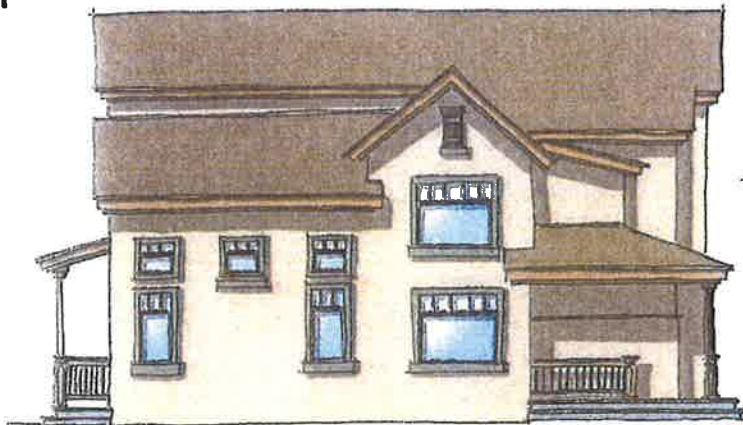
Exhibit 5.3-11a
Conceptual Illustration 3



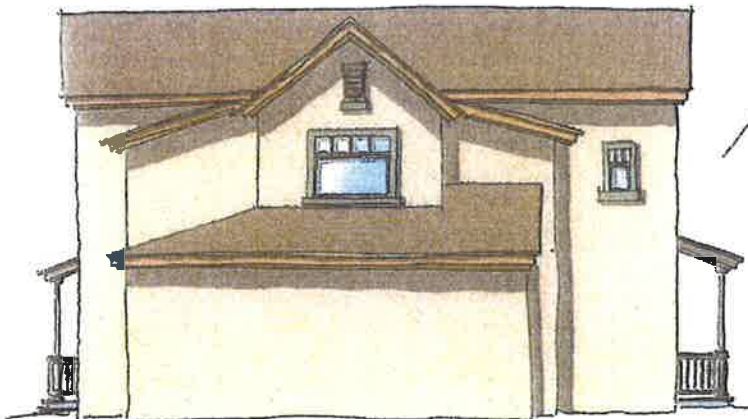
**Exhibit 5.3-11b
Conceptual Illustration 3**



Rear



Side



Side

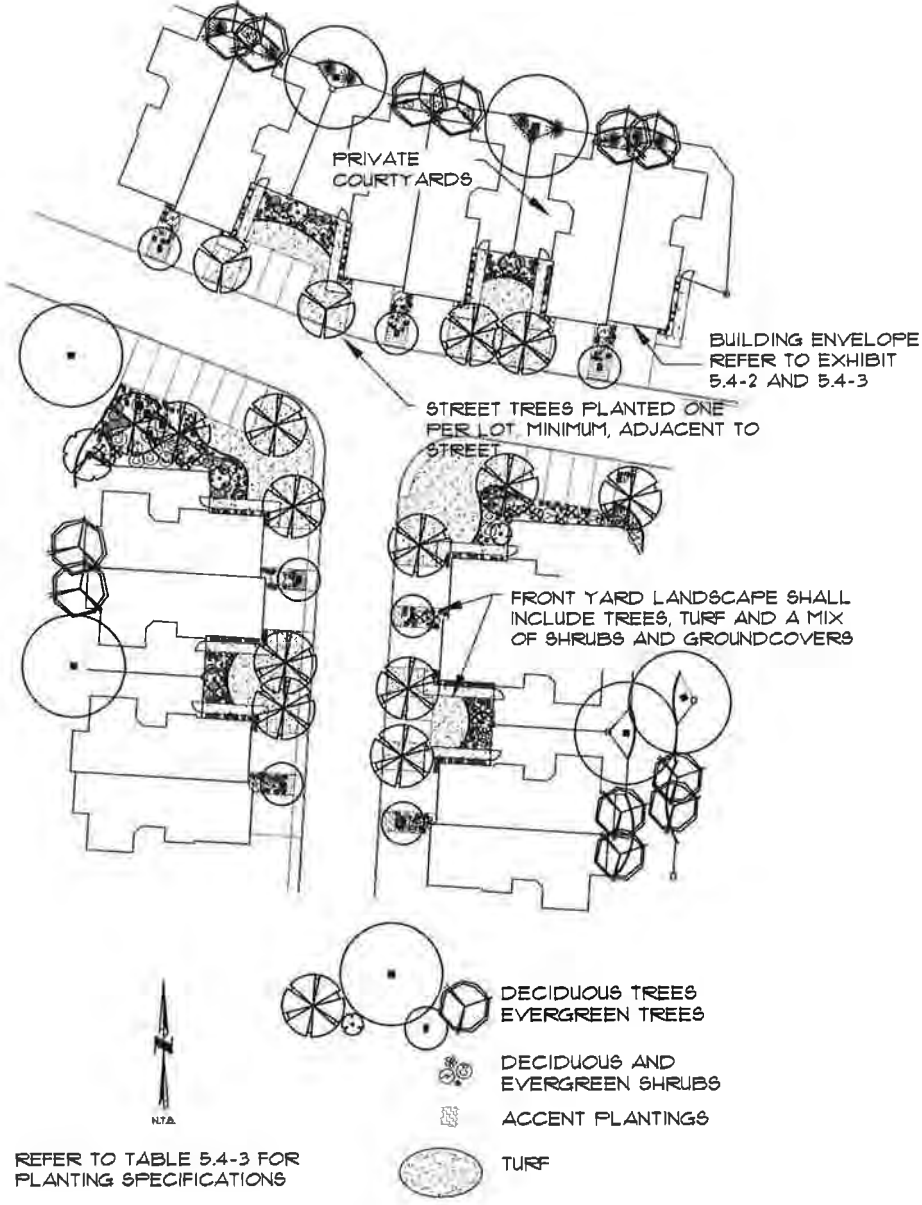
All colors, materials
And architectural
elements same as
Exhibit 5.3-11

5.4 TOWNHOUSES

5.4.1 Design Concept

The street and lot layout are intended to maximize the view orientation to common open spaces development throughout the Stonebrook Townhouse Communities.

**Exhibit 5.4-1
Streetscape – Townhome Neighborhoods**



The townhome communities will provide open spaces and common areas for use by the residents. Small tot lots picnic areas, sitting areas, and open field play area will be the recreational open space uses that will be incorporated into the Stonebrook Townhouse Communities. Refer to Exhibit 5.4-1. The type, location and size of amenities used will be determined at Tentative Map.

5.4.2 Setback Requirements

For the purposes of defining setbacks for this housing type building envelopes shall be used. All setbacks are to common area boundaries, property lines, or facilities such as roadways/accessways, or right-of-way.

5.4.2.1 Front Yard Setback (see Summary in **Table 5.4-1**)

The minimum front yard setback for the building envelope, including porches, from the private street will be 15 feet measured from the front building envelope line. In no case shall any portion of the second story of the building envelope be allowed closer than 20 feet from the private street. The garage portion of the building envelope shall be set back a minimum of 20 feet from the back of sidewalk or when no sidewalk, back of curb. (Refer to **Exhibit 5.4-3**)

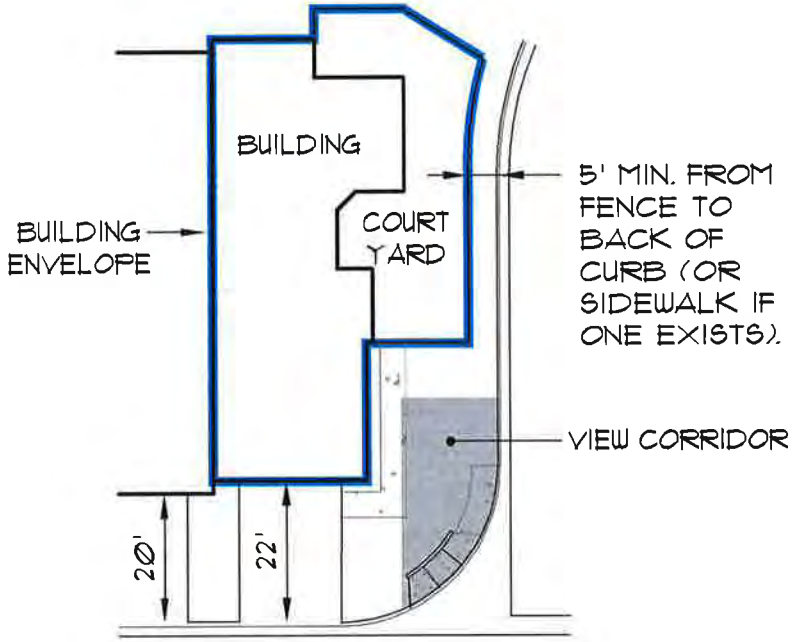
5.4.2.2 Rear Yard Setbacks (see Summary in **Table 5.4-1**)

No building envelope may be closer than ten (10) feet to the rear property line or from the common area exterior boundary. No accessory buildings are allowed. No two-story building envelopes will be allowed within ten (10) feet of the rear property line of any parcel adjacent to the perimeter of the project or 10 feet from the common area exterior boundary. (Refer to **Exhibit 5.4-3**)

5.4.2.3 Side Yard Setbacks (see Summary in **Table 5.4-1**)

The minimum side yard setback shall be five feet (5') adjacent to private roadways, and zero (0') feet internally with a minimum of 20' between buildings. (Refer to **Exhibit 5.4-3**)

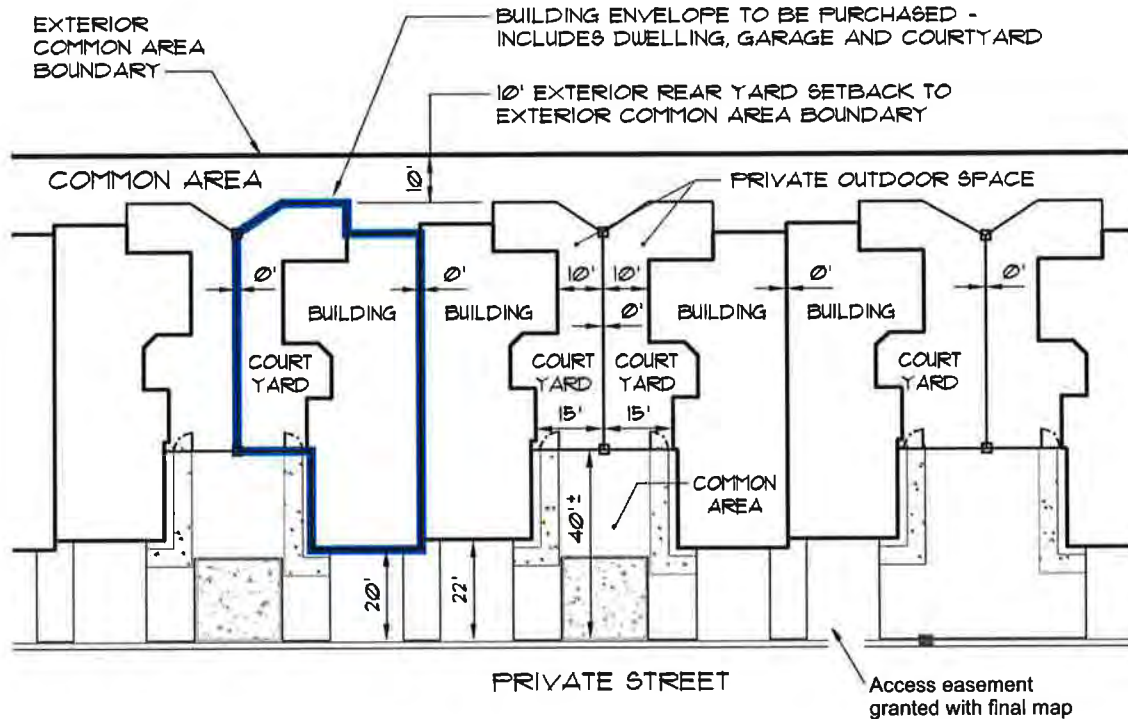
**Exhibit 5.4-2
Corner Lot Side Yard Setback**



**Table 5.4-1
Neighborhood Minimum Building Setback Requirements Refer to Exhibit 5.4-3**

<u>TYPE</u>	<u>FEET</u>	<u>CONDITION</u>
Front Setback	15'	To building envelope
	20'	To garage portion of building envelope
	20'	To upper story of a two-story building envelope where 29' private access way or streets are utilized
Rear Setback	10'	At rear corners of single story building envelope on irregular lots with 10-foot setback across back yard.
	10'	At exterior edge of property
Side-Yard Setback	5'	5' minimum; at exterior of building envelopes adjacent to access drives
	0'	Interior side
	20'	Between buildings – courtyard side

Exhibit 5.4-3
Typical Building Envelope Setback Configuration



5.4.3 Architectural Projections

Architectural projections shall remain within building envelope.

5.4.4 Usable Open Space (see Summary in Table 5.4-1)

Minimum usable courtyard open space shall be 300 square feet for a two-bedroom residence and an additional 100 square feet for each additional bedroom.

5.4.5 Accessory and Shade structures shall not be allowed.

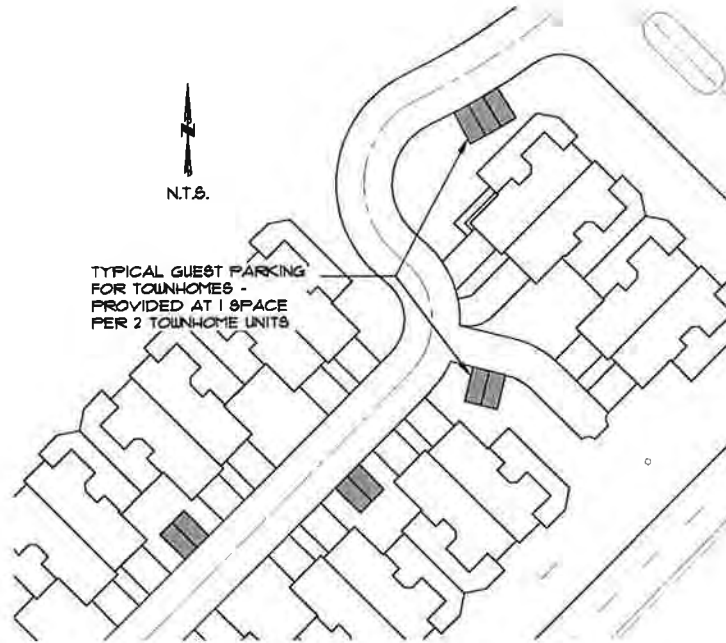
5.4.6 Building Envelope Height

Maximum height shall be 2 stories and 30 feet maximum height per City of Sparks Ordinance 20.37.

5.4.7 Parking Requirements

Per City of Sparks Parking Ordinance 20.49. In addition, one-guest parking space shall be provided for every two (2) units distributed throughout the townhome development. (Refer to **Exhibit 5.4-4** for typical locations)

**Exhibit 5.4-4
Guest Parking – Typical Location**



5.4.8 Plan Conformance

Submitted plans for all developments shall comply with the International Building Codes and all City of Sparks ordinances in effect prior to issuance of any building permit for the homes, the master plan for each model of home shall be reviewed and approved by the City of Sparks.

The Parcel Developer shall provide specific plot plans with a wet-stamp by a Nevada Registered Engineer for each individual pair of lots on an 8 1/2 x 11-inch format and a composite of a minimum of ten contiguous lots at a time to ensure adequate setbacks between structures. Plot plans and composite drawings are to be submitted to the Building Division of Community Development and approved by the Planning Department prior to the issuance of building permits.

5.4.9 Interior Roadway Design Requirements

Table 5.4-2- (below) and **Exhibit 3-6** outline the specific standards established for all interior private streets throughout the Townhouse portion of the PD. Public streets may be utilized in conformance with **Exhibit 3-5**.

Table 5.4-2: Interior Local Standard Neighborhood Roadway Designs

<u>TYPE</u>	<u>DIMENSIONS</u>	<u>CONDITION</u>
Local Private Street (see Exhibit 5.4-5)	30' ROW	Standard local private residential street or access way
Sidewalks	4'	Provided on one side of the street only for pedestrian circulation

5.4.10 Implementation

Preliminary conceptual floor plans and elevations for all single-family Townhomes are included with this handbook (Refer to **Exhibit 5.4-5 to 5.4.7b**) A design theme will be consistently applied throughout the single-family townhome development. The conceptual illustrations on **Exhibit 5.4-5 to 5.4.7b** define this theme. The design standards below will provide additional means for review of the final design plans.

5.4.11 Architectural Standards

- 5.4.11.1 Exterior elevations shall demonstrate a unified appearance. The architectural character of the individual dwellings (i.e. window trims, cornices, arches, etc.) shall be utilized on all elevations of the structure. The following conceptual illustrations define the unified appearance required. Refer to **Exhibits 5.4-5 to 5.4-7b**.
- 5.4.11.2 Building facades (all sides) shall be articulated by using color arrangement, or change in materials to emphasize the façade elements. Design elements and detailing shall be continued completely around the structure. Such design elements shall include window treatments; trim detailing, and exterior wall materials. Refer to Exhibits 5.4.5 to 5.4.7b.
- 5.4.11.3 Trim and detail work on garages shall be consistent with that of the main structure. Once an architectural style has been developed within a village, it shall apply to all buildings/structures within that village.
- 5.4.11.4 The main entrance shall have a sense of prominence that is reflected in the design. It shall include either a pair of doors with or without sidelights, an oversized door, or a single door with sidelights. The main entrance shall contain more detail and scale than other openings but be consistent in styling. Refer to Exhibits 5.4.5 to 5.4.7b.
- 5.4.11.5 The exterior finish of window frames and doors shall be made of wood, vinyl, vinyl-clad wood, or vinyl-clad aluminum. Glazing shall be clear, gray, or bronze tinted only. Reflective glass will not be allowed.
- 5.4.11.6 All exterior windows and doors, regardless of final material selection, shall utilize trim. Refer to **Exhibits 5.4.5 to 5.4.7b**.
- 5.4.11.7 Exterior materials shall be selected for their durability and ease of maintenance.
- 5.4.11.8 Accent materials such as stone and brick wainscoting shall be used on a minimum of 50% of the homes but must wrap the sides of the house a minimum of 2' and stop at a typical break point.
- 5.4.11.9 The use of plywood, sheet siding, or manufactured sheet siding is prohibited
- 5.4.11.10 All exterior siding materials are subject to review and approval by the SAC and Administrator and shall be submitted at the time of Tentative Map submission.
- 5.4.11.11 Renderings depicting colored exterior elevations (all sides) and conceptual floor plans shall be submitted to the SAC and Administrator at the time of Tentative Map submission. Refer to **Exhibits 5.4.5 to 5.4.7b**.
- 5.4.11.12 Exterior colors shall be of an earth tone/natural palette, complementary with the natural surroundings inherent to Stonebrook. No primary colors will be allowed.

The amount of colors permitted on a single residence shall be limited to a maximum of 4 colors; base, trim, accent 1 and accent 2. A fifth color may be permitted only in the instance of an attached appurtenance, i.e. porches in white will be allowed. Specific sample color palettes for body, trim and accent colors shall be submitted to the SAC, for review and approval prior to submittal and approval by the City. Color Palette shall be submitted at the time of Tentative Map submission. Refer to **Exhibits 5.4.5 and 5.4.7b**.

- 5.4.11.13 All vents, gutters, downspouts, flashings, electrical conduits, etc., shall be painted to match the color of the surface to which it is attached. Refer to **Exhibits 5.4.5 to 5.4.7b**.
- 5.4.11.14 No flat roofs shall be permitted within the residential portions of Stonebrook. Roofs shall be designed in direct scale and proportion to the structure. Roof massing shall be reviewed and approved by the SAC and Administrator.
- 5.4.11.15 Hip, gable, and shed roofs are all required roof forms. Roof slopes shall have a minimum of four feet and a maximum of ten feet of vertical rise for every 12 feet of horizontal run. Refer to **Exhibits 5.4.5 to 5.4.7b**.
- 5.4.11.16 Roof materials shall be comprised of non-flammable, non-reflective, color treated materials. All roofs must be, at a minimum, rated Class A Fire Retardant or Better.
- 5.4.11.17 Roof materials shall be concrete or clay tiles, non-reflective color treated metal roofing, which mimics shake or slate roofing, or 40-year architectural grade composition shingles. All proposed roofing material should have the approval of the SAC and Administrator.
- 5.4.11.18 Roof material shall be submitted for review at the time of Tentative Map submission.
- 5.4.11.19 No roof mounted mechanical equipment, antenna or appurtenances shall be permitted. One satellite dish per structure may be permitted, provided the dish is 18" in diameter or less and mounted discretely, to the approval and enforced by the SAC, on an eave or soffit to maximize screening.
- 5.4.11.20 All house addresses shall be clearly readable from public right of ways.
- 5.4.11.21 All exterior mounted light fixtures shall be complementary to the design of the structure they serve and must consider the following minimum guidelines:
- Direct light source must be concealed from typical lines of sight, (i.e. vehicular, and pedestrian)
 - Exterior mounted lights shall not exceed 12' in height
- 5.4.11.22 A minimum of 50% of the homes shall have 6' deep covered porches as depicted in **Exhibits 5.4.5 to 5.4.7b** provided they meet the required setbacks.
- 5.4.11.23 **Exhibits 5.4.5 to 5.4.7b** depict detail elements (such as shutters, chimneys, porch columns with bases and caps, horizontal boards etc.) which shall be included in the residential design of the homes when applicable to the architectural style.
- 5.4.11.24 There shall be a 2-foot minimum horizontal plane separation from the garage and living portions of the façade.

5.4.11.25 All residential parcels shall contain a variety of architectural styles that shall be specified with each Tentative Map Submittal. The styles such as Craftsman, French, Spanish, Farm House etc. shall contain basic elements that reflect the style such as:

Craftsman: (Refer to Conceptual Illustration **Exhibit 5.4.5 and 5.4.7**)

Basic Elements:

- Gable roofs with deep overhangs.
- Expressive structural elements such as rafters, brackets and columns.
- A mixture of materials such as stone, shingles and siding
- Porches with distinctive pier column combinations
- Window sizes shall conform to the architectural style

Building Mass and Roofs:

- Gabled roofs with a pitch range from 4 in 12 to 6 in 12 for the main roof.
- Wings which project from the main mass and receive independent roof forms
- Roof materials of concrete or clay tile, 40-year composition asphalt shingles or slate.

Building Articulation:

- Large, detailed eave projections with exposed rafter tails
- Gable roof projections may be supported by braces or extended beams
- Broad porches encompassing the majority of the units, rear or side
- The gable roof on porches parallel to the roof of the main structure
- The detailing of porches showing variety, such as short square columns that rest on massive piers, battered columns or solid balustrades.
- Railings have square balusters or turned spindles

Doors and Windows

- Doors paneled or contain a combination of paneled and glazed elements, and entries usually occur singularly
- Doors have sidelights and transoms. The door trim surround consistent with the window trim.
- Windows and doors that have trim caps, brackets or other details over the window head
- Box and angled bay windows used as accents
- Double hung windows with multiple panes over one divisions
- Casements windows used as specialty windows
- Windows either flat, half-round or segmental arched tops.
- Window and door sizes shall conform to the architectural style

Materials and Colors

- Walls clad with stone, brick, stucco, wood siding, or plane shingles

Farmhouse: (Refer to Conceptual Illustration **Exhibit 5.4.6**)

Basic Elements

- Variable pitched roofs with moderate overhangs
- Expressive structural elements such as rafters, brackets and columns
- A mixture of materials such as stone, stucco and wood siding
- Porches incorporating heavy timber columns with knee braces
- Window sizes shall conform to the architectural style

Building Mass and Roofs

- Roofs gabled with a pitch range from 3 in 12 to 9 in 12 for the main roof
- Roofs simple gable, hipped or gambrel forms often with dormers
- Roof materials to be 40-year composition asphalt shingles, concrete tile or clay tile

Building Articulation

- Simple eave projections with trimmed rafter tails and fascia
- Broad porches encompassing the majority of the units side or rear
- Piers and balustrades of the same material as the main mass of the house
- Porch balustrades are connected to column supports

Doors and Windows.

- Doors paneled or a combination of paneled and glazed and entries usually occur singularly
- Doors have sidelights and transoms
- Windows and doors have trim details over the window head and doors
- Box and angled bay windows used as accents
- Picture windows
- Windows double hung with multiple pane over one divisions
- Door and window sizes shall conform to the architectural style

Materials and Colors

- Walls clad with stucco or wood siding
- Stone and brick used as accents

5.4.12 Lighting

The functional objectives in providing exterior area lighting are to illuminate areas necessary for safe and comfortable use. In certain situations, area lighting can add to the aesthetic appeal of a site by highlighting architectural features of a building or illuminating pathways and landscape plantings. In these instances, only the special features of a building or landscape shall be illuminated. It should be noted that the following standards address area lighting on individual properties.

5.4.12.1 Standards

- Driveway, walkway, and building lights shall be directed downward.
- Illumination for aesthetic or dramatic purposes of any building or surrounding landscape utilizing exterior light fixtures project that light beyond the property line shall be prohibited.

- **Lighting Levels:** No consistent overall lighting and overly bright lighting shall be permitted. Lighting for pedestrian movement shall be permitted if it only illuminates entrances, changes in grade, path intersections, and other areas along paths.
- **Lighting Height** as a rule, the light source should be kept as low to the ground as possible while ensuring safe and functional levels of illumination. Area lighting shall be directed downward with no spill of lighting beyond the property line. Any light source over 10 feet high shall incorporate a cut-off shield to prevent the light source from being directly visible from areas off-site beyond the property line.

5.4.13. Landscape Design and Installation Requirements

5.4.13.1 Front Yard Landscaping Requirements

Developers shall be responsible for installation of front yard or common area landscaping on all townhouses at time of construction. The landscaping specifications shall conform to these standards. Plant materials shall be appropriate to climatic conditions of the Sparks area and selected based upon recommendations of a horticultural soils suitability test and report. Additionally, all front yard (common area) landscaping shall include an irrigation system designed to conserve water. Front yard landscape and irrigation plans must be submitted to the Stonebrook Architecture Committee (SAC) for approval prior to application to the City of Sparks for their review and approval prior to building permits being issued.

The following **Table 5.4-3** specifies the required front yard landscaping for the Townhouse Residential Development.

Table 5.4-3: Townhouse Development
Front Yard Common Area Minimum Landscaping Requirements per dwelling unit

<u>PLANT MATERIALS</u>	<u>QUANTITY</u>	<u>PLANT SIZE</u>	<u>CALIPER SIZE (min.)</u>
Turf lawn	70% max. cover	Sod	N/A
Shrubs	12	5-gallon	N/A
Ground cover or additional shrubs	30% min. cover	5-gallon (or equal)	N/A
Street trees for townhome lot	1	B&B or Box	2 "
Street trees for corner townhome lots	2	B&B or Box	2 "

5.4.13.2 Recreation and Common Area Landscaping

Recreation areas in the Stonebrook Townhouses shall be provided only in areas with sufficient space to accommodate play areas and sufficient view corridors to allow the play areas to be easily supervised by adults. Hazards such as high retaining walls maximum height of 3', poisonous/thorny planting, steep slopes exceeding 20% slope, etc. shall not be allowed in common areas and pedestrian corridors. Ample seating and well landscaped shaded areas shall be provided around recreation areas. Hiding places in the landscape that may attract undesirable activities shall be avoided. Recreation areas shall include 3 of the following: tot lots, half court for basketball, fitness clusters, and large and small group picnic areas. Recreational area type, size and location to be determined with Tentative Map approval.

The following **Table 5.4-4** specifies the required landscaping for the ornamental common areas in the Townhouse Development.

**Table 5.4-4: Common Area Ornamental Landscape Development
Minimum Landscaping Requirements Per 1,000 sq. ft. of Area**

<u>PLANT MATERIALS</u>	<u>QUANTITY</u>	<u>PLANT SIZE</u>	<u>CALIPER SIZE (min.)</u>
Turf	70% max. cover	Sod	N/A
Shrubs	10	5-gallon	N/A
Ground cover or additional shrubs	30% min. cover	5-gallon (or equal)	N/A
Deciduous Trees	3	B&B or Box	2 "
Evergreen Trees	2	6 ft. height	
Entryway Trees	1	B&B or Box	3"

5.4.14 Landscaping Installation and Maintenance

In addition to common area landscaping, the Developer shall be required to install landscaping and irrigation along all major roadways including right-of-way and at the entrance of the project. The Developer shall be responsible for all landscaping and irrigation required within the common area and common recreational facilities. As streets are constructed associated landscaping shall be installed.

Individual lot owners shall be responsible for maintenance of all private courtyard landscaping and irrigation once installed. The Homeowners Association (HOA) will be responsible to maintain all landscaping and irrigation within common areas, common recreational facilities, and yards outside the private patio fencing. The maintenance of all major roadway buffer landscaping shall be as outlined in Chapter Two of the Development Design Handbook.

All landscaped areas where turf grass is not used shall be covered with herbaceous shrubbery/prostrate ground cover. Bark mulches, stone cobble (4") are required to cover bare ground temporarily exposed during the maturation period of the ground cover. Planting areas shall be designed to achieve 90% ground coverage within three (3) years. Non-living materials (bark mulches and stone cobble) may not be used for more than 10% of the total landscape area and excludes the area of temporary coverage allowed for all plants and ground cover maturity.

5.4.15 Fencing Design and Installation Requirement

5.4.15.1 Residential Fencing

At the time of home construction, Developers shall be required to install fencing enclosing the entire courtyard for each residence. All fencing abutting or seen from the local streets and/or open space shall conform to a pre-defined design uniform throughout the PD, including open-style fencing. All fence design standards and requirements shall be pursuant to **Exhibits 11-3**, except if abutting open space, where open style fencing shall be used as defined in **Exhibit 11-5**. The conceptual design of this fencing to be determined with Tentative Map approval.

Developers will be responsible to install the perimeter fencing surrounding their respective development parcel. When one Parcel Developer's neighborhood boundary or phase boundary is contiguous with the back-property line of residential lots within a neighborhood of another Developer (therefore, not seen by the public), the Parcel Developers of each contiguous neighborhood shall be responsible for coordinating installation of fencing acceptable to both Parcel

Developers. Should a dispute arise between Parcel Developers with respect to the design and/or cost of such fencing, the Stonebrook Architecture Committee (SAC) shall dictate the fencing to be utilized, with the approval of the City of Sparks.

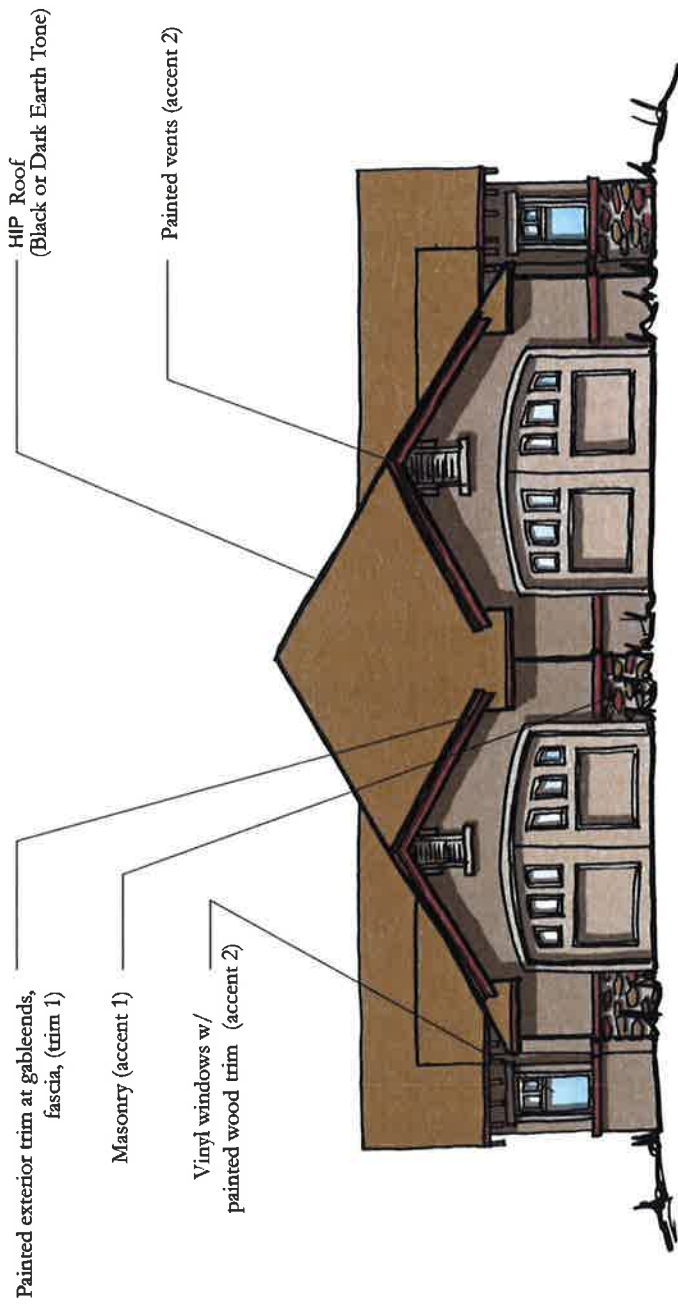
5.4.15.2 Common Area Fencing

The Developer shall be responsible for construction of all fencing consistent with the intent and material requirements of the Design Standards throughout the PD. All fence design standards and requirements shall be pursuant to **Exhibits 11-2 through 11-5** and Chapter 11. The type and location of all fencing to be determined with Tentative Map approval.

5.4.16 Model Home Facilities, temporary Sales Trailer/Construction Yards, Construction Hours

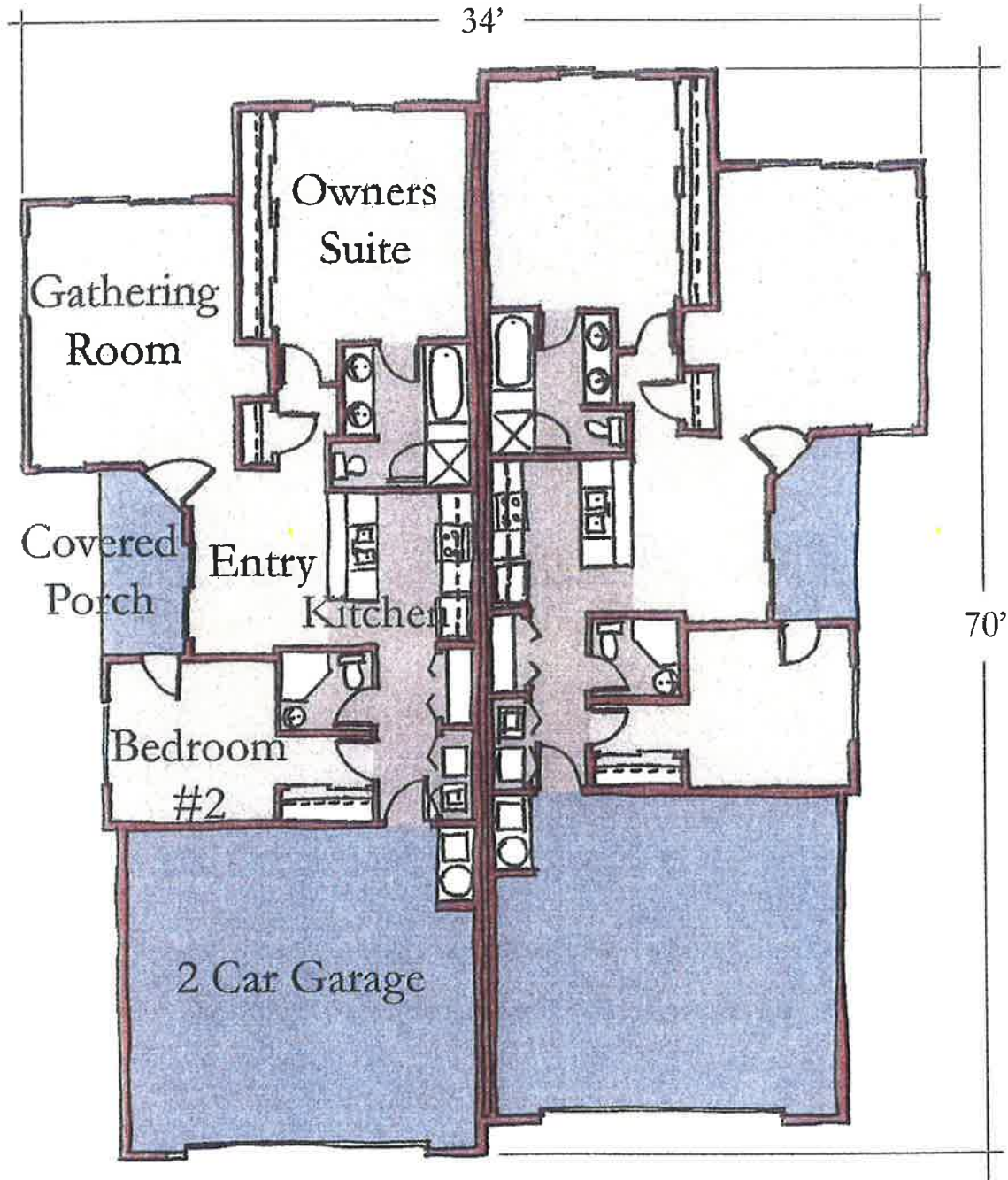
5.4.16.1 Model Home Complexes shall be reviewed and approved by the SAC and Administrator at the time of Sales Office permit application. The standards of Sparks Municipal Code, Section ~~20.41.090~~ and ~~20.41.080~~ and ~~20.41.110~~20.03.040(A)(f) Model Home Complex shall apply.

5.4.16.2 Construction hours shall be limited to Monday – Friday 7 a.m. to 7 p.m., Saturday 9 a.m. to 5 p.m. and prohibited on Sundays.



Exterior Colors Shall Be:
 Earth Tone/Natural Palette
 (No Primary Colors) Limited to
 Four Colors; Base, Trim, Accent 1
 & Accent 2 (See Sample Palette)
 All Vents, Gutters, Downspouts,
 Flashings, Electrical Conduits, Etc.
 Shall Be Painted to Match Color
 of the Surface to which it is Attached.

FRONT
Typical Craftsman Style



**Exhibit 5.4-5b
Conceptual Illustration 1**



Rear

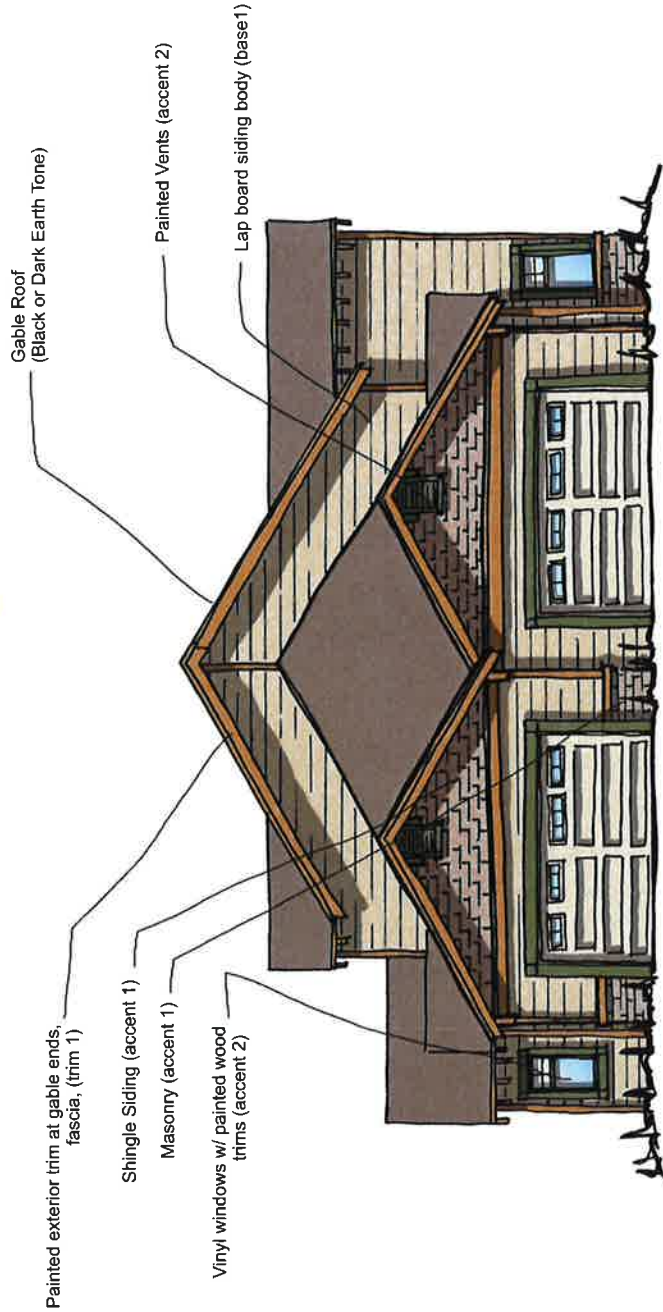


Side



Side

All colors,
materials and
architectural
elements same
as Exhibit 5.4-5

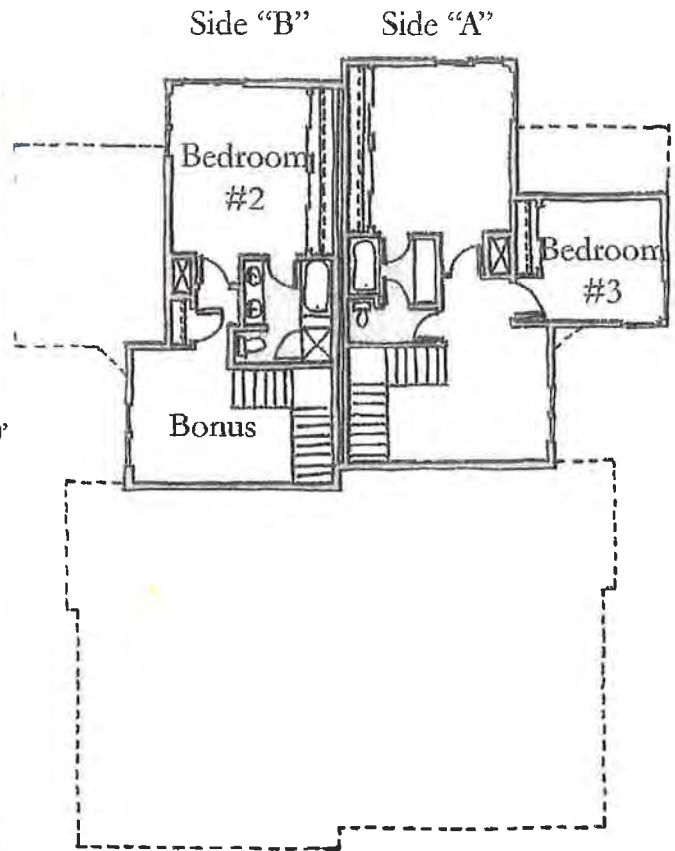
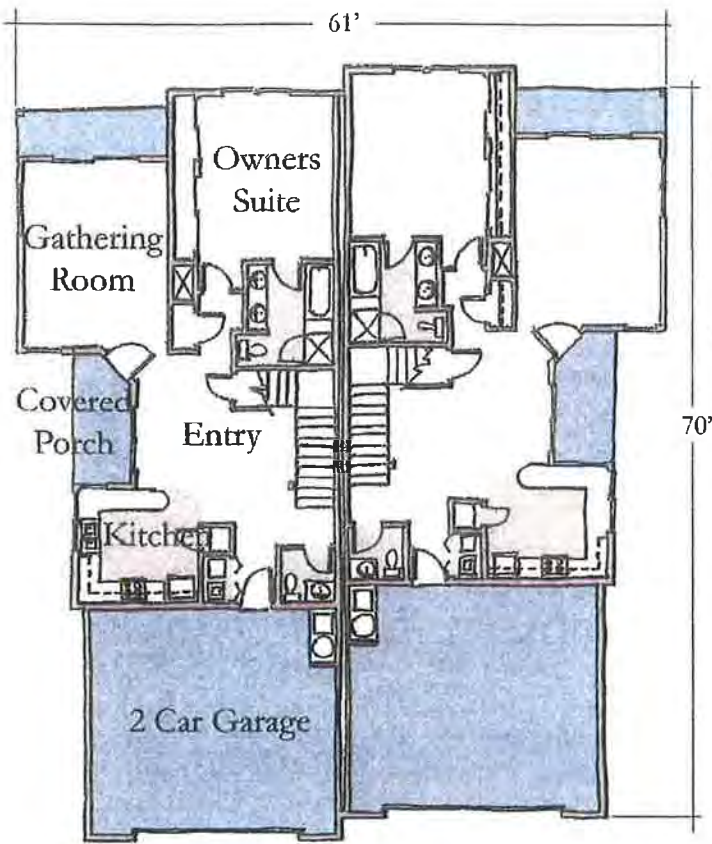


FRONT

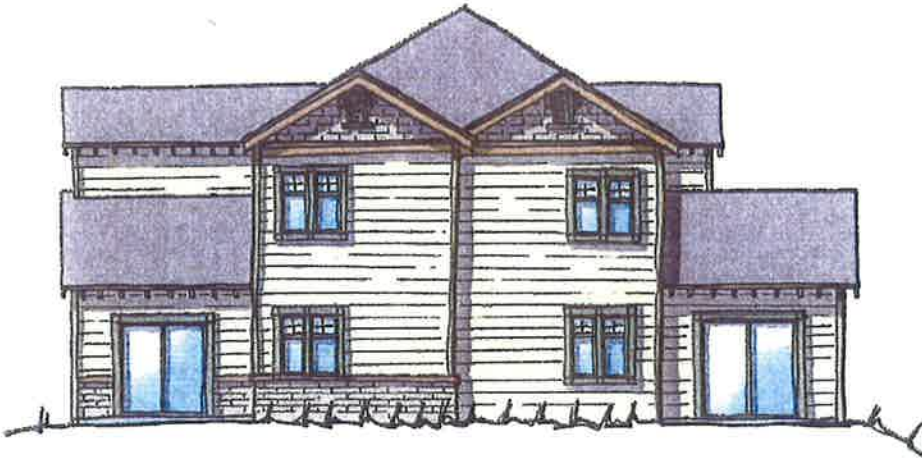
Exterior Colors Shall Be:
 Earth Tone/Natural Palette
 (No Primary Colors) Limited to
 Four Colors: Base, Trim, Accent 1
 & Accent 2 (See Sample Palette)
 All Vents, Gutters, Downspouts,
 Flashings, Electrical Conduits, Ect.
 Shall Be Painted to Match Color
 of the Surface to which it is Attached.

Typical Farmhouse Style

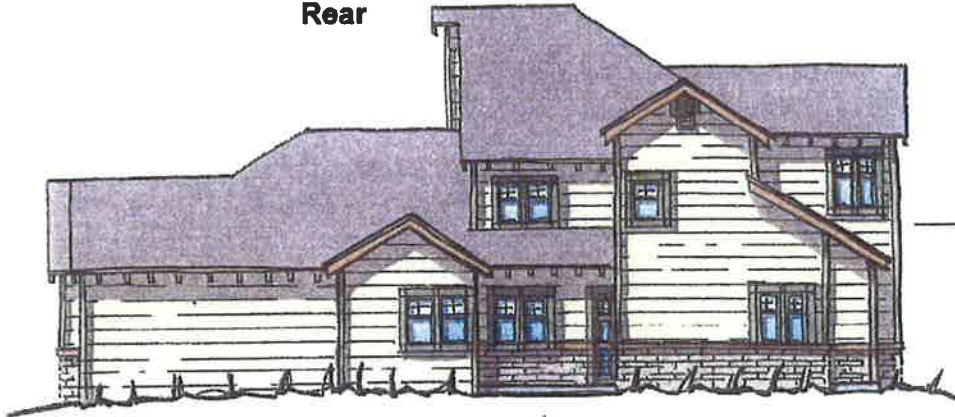
Exhibit 5.4-6a
Conceptual Illustration 2



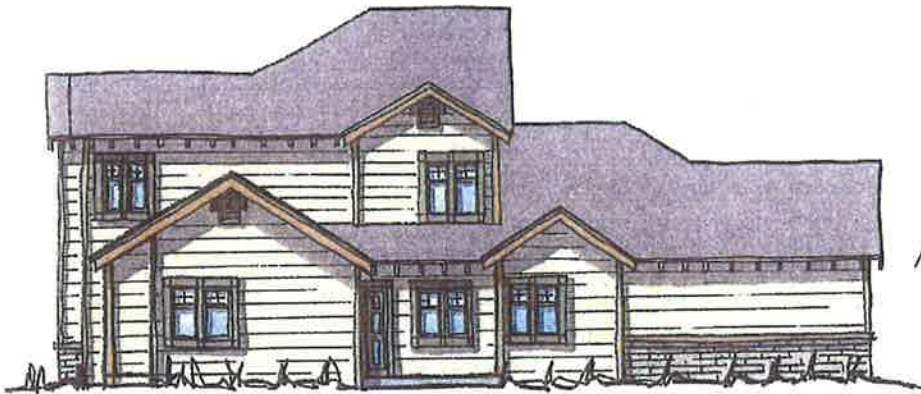
**Exhibit 5.4-6b
Conceptual Illustration 2**



Rear

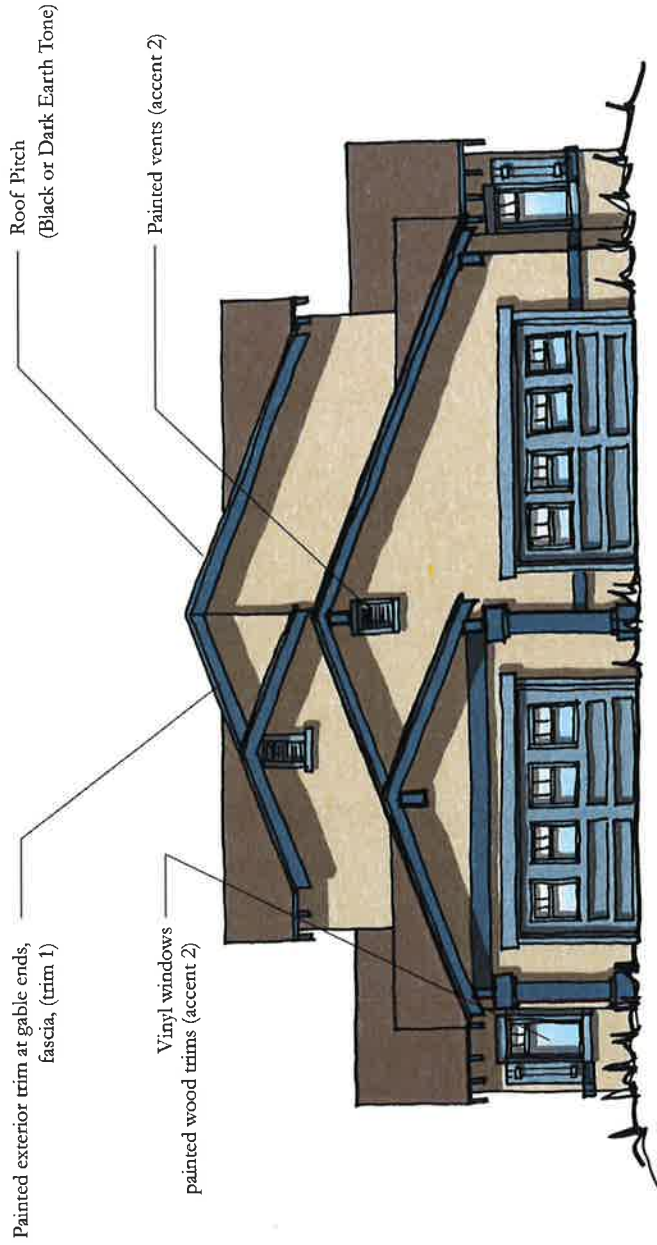


Side



Side

All colors, materials
and architectural
elements same as
Exhibit 5.4-6



FRONT

Exterior Colors Shall Be:
Earth Tone/Natural Palette
(No Primary Colors) Limited to
Four Colors; Base, Trim, Accent 1
& Accent 2 (See Sample Palette)
All Vents, Gutters, Downspouts,
Flashings, Electrical Conduits, Etc.
Shall Be Painted to Match Color
of the Surface to which it is Attached.

Typical Craftsman Style

Exhibit 5.4-7a
Conceptual Illustration 3

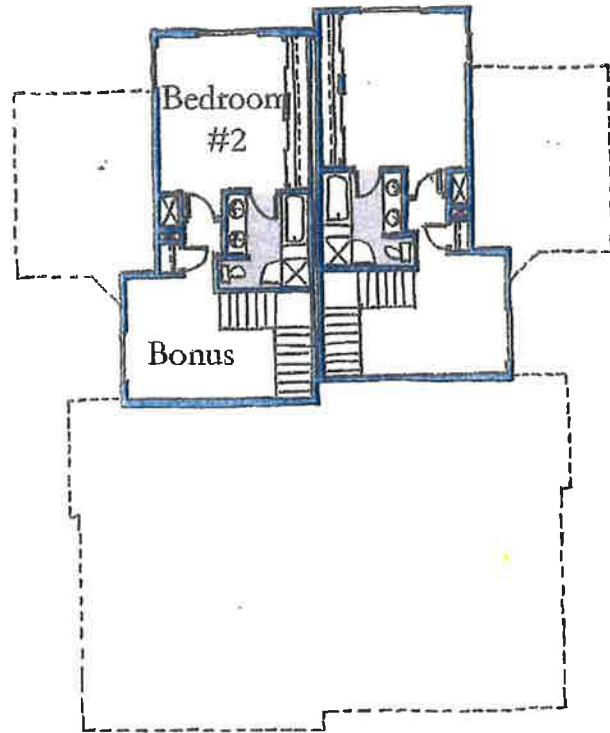
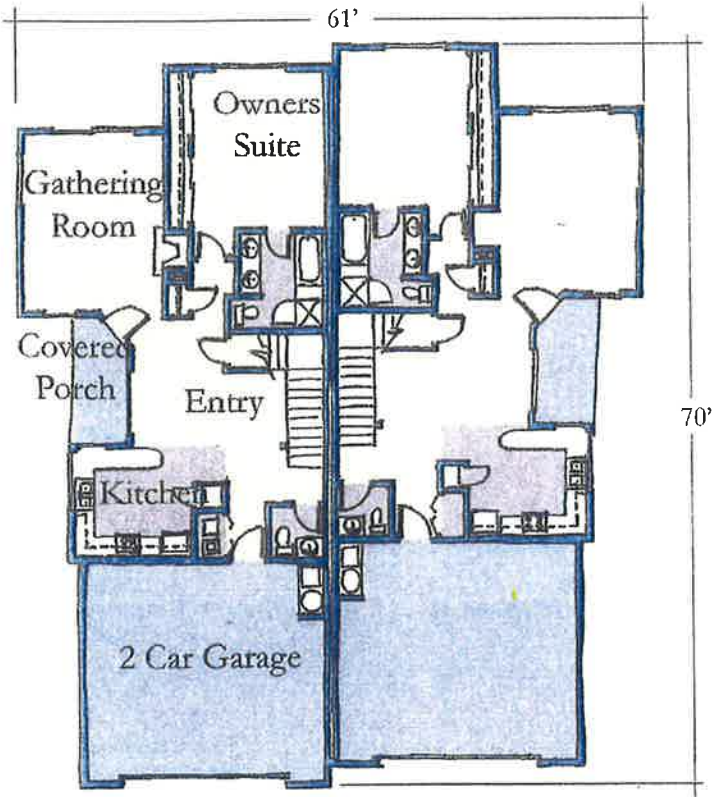
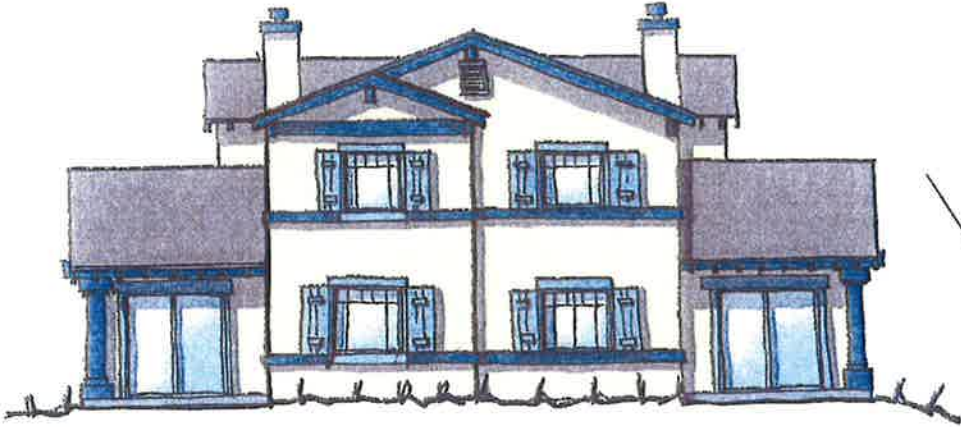
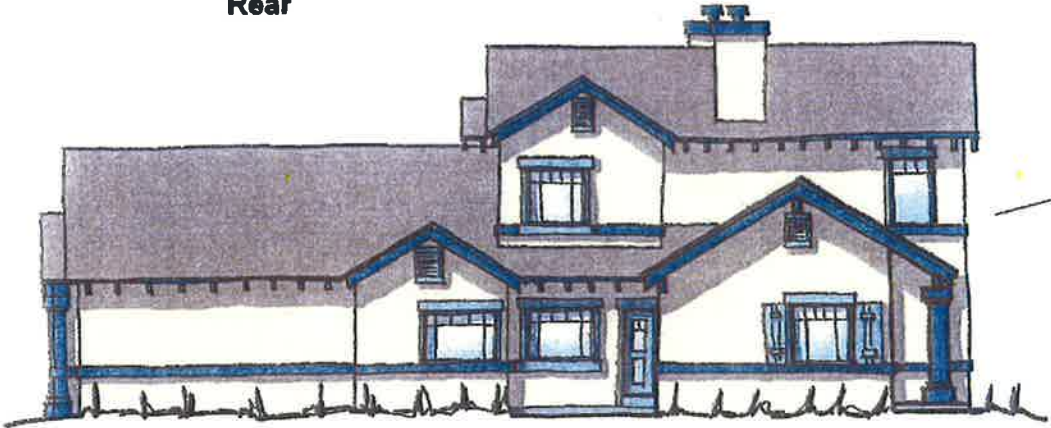


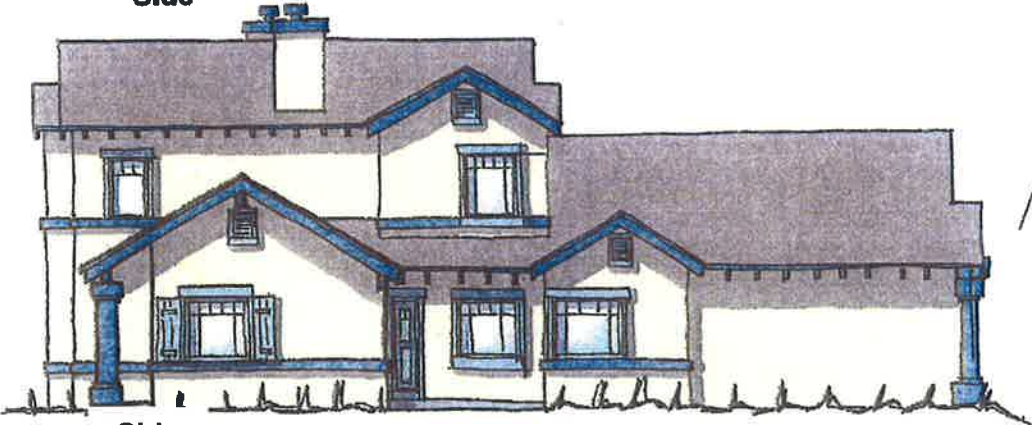
Exhibit 5.4-7b
Conceptual Illustration 3



Rear



Side



Side

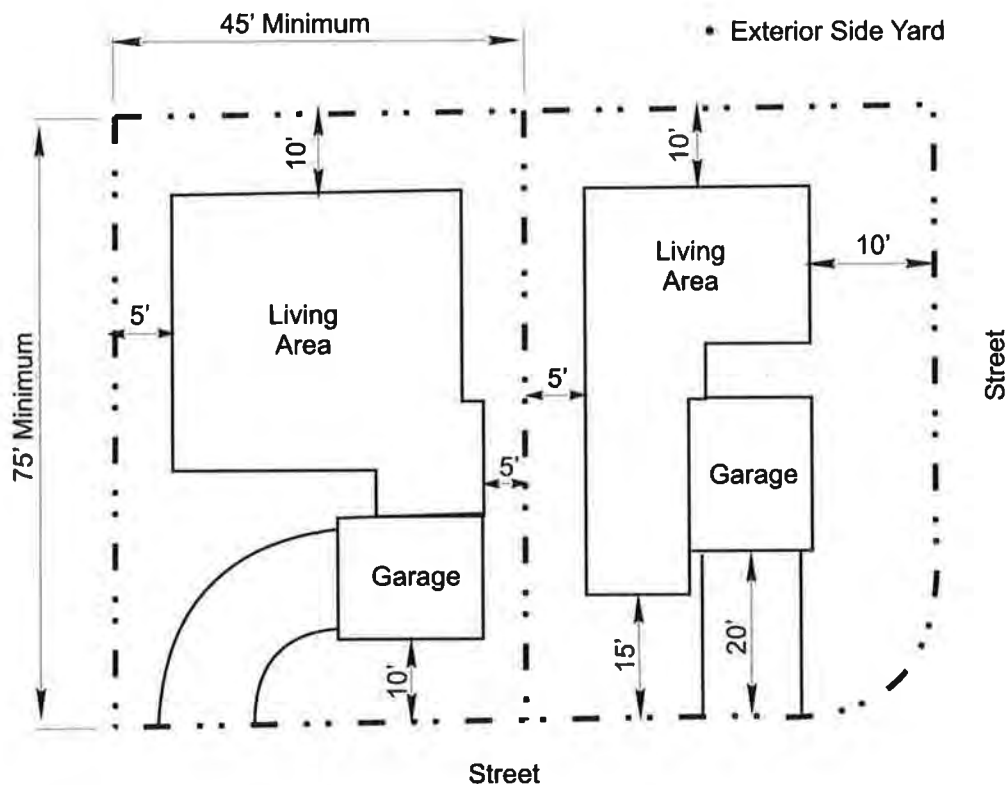
All colors, materials
and architectural
elements same as
Exhibit 5.4-7

5.5 Patio Homes

5.25.1 Design Concept

Patio homes are small individual lots. Refer to **Exhibit 5.5-1** for site plan concept.

**Exhibit 5.5-1
Plan Concept**



Setback Requirements and Local Road Standards

5.5.2 Front Yard Setback (see Summary in Table 5.5-1)

The minimum front yard setback to the residence will be 15 feet measured from the front property line. In no case shall any portion of the second story of any floor plan be allowed closer than 20 feet from the front property line. The garage shall be set back a minimum of 20 feet from the front property line. (Refer to **Exhibit 5.5-1**) A porch or side loaded garage may be 10 feet from the front property line.

5.5.3 Rear Yard Setbacks (see Summary in Table 5.5-1)

No building may be closer than ten (10) feet to the rear property line. Rear porches shall not be closer than ten (10) feet from the rear property line. No accessory buildings are allowed. Where lots are irregular, as in most corner lots, the building setbacks shall be ten (10) feet

from the rear property line. No two-story structures will be allowed within ten (10) feet of the rear property line of any parcel.

5.5.4 Side Yard Setbacks (see Summary in Table 5.5-1)

The minimum distance between buildings shall be ten feet (10').

Table 5.5-1: Neighborhood Minimum Building Setback Requirements

TYPE	FEET	CONDITION
Front Setback	10	To residence
	20	To garage
	10	To porch or side loaded garage
	20	To upper story of a two-story residence where 30' access way or streets are utilized
	10	To side loaded garage
Rear Setback	10	To residences
	10	Porch
Side-Yard Setback	5.0	5.0' minimum; 10.0' separation between adjacent main structure

5.5.2.44.1 Covered Porches

Covered porches are allowed on the rear, and side of dwellings. Porches shall be a minimum of 6 feet deep and be set back a minimum of 10 feet from the rear property line, and 5 feet from the side.

5.5.2.54.2 Building Height

Maximum building height shall be two (2) stories per City of Sparks Ordinance 20.37.

5.5.45 Parking Requirements

Per City of Sparks Parking Ordinance 20.04.00949.

5.5.56 Streets

Public streets to serve as access to all lots shall be developed per the design standards. Refer to **Exhibit 3-5**. Private streets may also be use. Refer to **Exhibit 3-6**.

5.5.67 Architectural Projections

Architectural projections such as fireplaces, box-outs, media niches porches, etc., are permitted up to two (2) feet into required setbacks, not to exceed 120 sq. ft.

5.5.78 Usable Open Space (see Summary in **Table 5.2-1**)

Minimum usable rear – side yard space shall be 300 square feet for a two-bedroom residence and an additional 100 square feet for each additional bedroom.

5.5.89 Shade Structures

Shade structures are permitted within required setback.

5.5.910 Corner Lot Side Yard Setback

The minimum side yard adjacent to a street shall be 10 feet from the Right of Way. Fences may be located two and one-half (2.5) feet from the back of curb or sidewalk. No structure or fence shall be allowed in the view corridor formed by a rectangle that is 10 feet wide and 30 feet deep measured from the back of curb

5.5.4011 Plan Conformance

Submitted plans for all developments shall comply with the final map design standards for Stonebrook Single-family Patio Homes including the International Building Codes and all City of Sparks ordinances in effect prior to issuance of any building permit for the homes, the master plan for each model of home shall be reviewed and approved by the City of Sparks.

- The Parcel Developer shall provide specific plot plans with a wet-stamp by a Nevada Registered Engineer for each individual lot on an 8 ½ x 11-inch format and a composite of a minimum of ten lots at a time to ensure adequate setbacks between structures. Plot plans and composite drawings are to be submitted to the Building Division of Community Development and approved by the Planning Department prior to issue of building permits.
- The Developer is responsible for landscaping of neighborhood entrances and open space areas consistent with the intent and material requirements of the Design Standards throughout the PD.

5.5.12 Fencing Design and Installation Requirements

5.5.12.1 Residential Fencing

At the time of home construction, all Developers shall be required to submit plans for approval to install fencing that encloses the entire private yard for each residence. All side yard fencing shall be solid fencing. (Refer to **Exhibits 11-4 and Chapter 11**)

5.5.12.2 Implementation

Preliminary floor plans and elevations for all single-family patio homes are illustrated with **Exhibits 5.5-2 to 5.5-4b**. A "Contemporary with Natural Surroundings" design theme will be consistently applied throughout the single-family patio homes development. The design standards below will provide additional means for review of the final design plans.

5.5.13 Architectural Standards

5.5.13.1 Exterior elevations shall demonstrate a unified appearance. The architectural character of the individual dwellings (i.e. window trims, cornices, arches, etc.) shall be utilized on all elevations of the structure. The following conceptual illustrations define the unified appearance required. Refer to **Exhibits 5.5.2 to 5.5.4b**.

5.5.13.2 Building facades (all sides) shall be articulated by using color arrangement, or change in materials to emphasize the façade elements. Design elements and detailing shall be continued completely around the structure. Such design elements shall include window treatments; trim detailing, and exterior wall materials. Refer to **Exhibits 5.5.2 to 5.5.4b**.

- 5.5.13.3 Trim and detail work on garages shall be consistent with that of the main structure.
- 5.5.13.4 Once an architectural style has been developed within a village, it shall apply to all buildings/structures within that village.
- 5.5.13.5 The main entrance shall have a sense of prominence that is reflected in the design. It shall include either a pair of doors with or without sidelights, an oversized door, or a single door with sidelights. The main entrance shall contain more detail and scale than other openings but be consistent in styling. Refer to **Exhibits 5.5.2 to 5.5.4b.**
- 5.5.13.6 The exterior finish of window frames and doors shall be made of wood, vinyl, vinyl-clad wood, or vinyl-clad aluminum. Glazing shall be clear, gray, or bronze tinted only. Reflective glass will not be allowed.
- 5.5.13.7 All exterior windows and doors, regardless of final material selection, shall utilize trim. Refer to **Exhibits 5.5.2 to 5.5.4b.**
- 5.5.13.8 Exterior materials shall be selected for their durability and ease of maintenance.
- 5.5.13.9 Accent materials such as stone and brick wainscoting shall be used on a minimum of 50% of the homes but must wrap the sides of the house a minimum of 2' and stop at a typical break point.
- 5.5.13.10 The use of plywood, sheet siding, or manufactured sheet siding is prohibited
- 5.5.13.11 All exterior siding materials are subject to review and approval by the SAC and Administrator and shall be submitted at the time of Tentative Map submission.
- 5.5.13.12 Renderings depicting colored exterior elevations (all sides) and conceptual floor plans shall be submitted to the SAC and Administrator at the time of Tentative Map submission. Refer to **Exhibits 5.5.2 to 5.5.4b.**
- 5.5.13.13 Exterior colors shall be of an earth tone/natural palette, complementary with the natural surroundings inherent to Stonebrook. No primary colors will be allowed. The amount of colors permitted on a single residence shall be limited to a maximum of 4 colors; base, trim, accent 1 and accent 2. A fifth color may be permitted only in the instance of an attached appurtenance, i.e. porches in white will be allowed. Specific sample color palettes for body, trim and accent colors shall be submitted to the SAC, for review and approval prior to submittal and approval by the City. Color Palette shall be submitted at the time of Tentative Map submission. Refer to **Exhibits 5.2.7 and 5.2.8.**
- 5.5.13.14 All vents, gutters, downspouts, flashings, electrical conduits, etc., shall be painted to match the color of the surface to which it is attached. Refer to **Exhibits 5.5.2 to 5.5.4b.**
- 5.5.13.15 No flat roofs shall be permitted within the residential portions of Stonebrook. Roofs shall be designed in direct scale and proportion to the structure. Roof massing shall be reviewed and approved by the SAC and Administrator.
- 5.5.13.16 Hip, gable, and shed roofs are all required roof forms. Roof slopes shall have a minimum of four feet and a maximum of ten feet of vertical rise for every 12 feet of horizontal run. Refer to **Exhibits 5.5.2 to 5.5.4b.**

- 5.5.13.17 Roof materials shall be comprised of non-flammable, non-reflective, color treated materials. All roofs must be, at a minimum, rated Class A Fire Retardant or Better.
- 5.5.13.18 Roof materials shall be concrete or clay tiles, non-reflective color treated metal roofing, which mimics shake or slate roofing, or 40-year architectural grade composition shingles. All proposed roofing material should have the approval of the SAC and Administrator.
- 5.5.13.19 Roof material shall be submitted for review at the time of Tentative Map submission.
- 5.5.13.20 No roof mounted mechanical equipment, antenna or appurtenances shall be permitted. One satellite dish per structure may be permitted, provided the dish is 18" in diameter or less and mounted discretely, to the approval and enforced by the SAC, on an eave or soffit to maximize screening.
- 5.5.13.21 Detached accessory structures (i.e. sheds, detached garages, etc.) on any lot shall be constructed of the same materials and employ the same design as used on the main structure on the lot.
- 5.5.13.22 All house addresses shall be clearly readable from public right of ways.
- 5.5.13.23 All exterior mounted light fixtures shall be complementary to the design of the structure they serve and must consider the following minimum guidelines:
- Direct light source must be concealed from typical lines of sight, (i.e. vehicular, and pedestrian)
 - Exterior mounted lights shall not exceed 12' in height
- 5.5.13.24 A minimum of 50% of the homes shall have 6' deep covered porches as depicted in **Exhibits 5.5.2 to 5.5.4b** provided they meet the required setbacks.
- 5.5.13.25 **Exhibits 5.5.2 to 5.5.4b** depict detail elements (such as shutters, chimneys, porch columns with bases and caps, horizontal boards etc.) which shall be included in part of the residential design of the homes, where applicable to the architectural style.
- 5.5.13.26 There shall be a 2-foot minimum horizontal plane separation from the **garage** and living portions of the façade.
- 5.5.13.27 All residential parcels shall contain a variety of architectural styles that shall be specified with each Tentative Map Submittal. The styles such as Craftsman, French, Spanish, Farm House etc. shall contain basic elements that reflect the style such as:

Craftsman: (Refer to Conceptual Illustration **Exhibit 5.5-2**)

Basic Elements:

- Gable roofs with deep overhangs.
- Expressive structural elements such as rafters, brackets and columns.
- A mixture of materials such as stone, shingles and siding
- Porches with distinctive pier column combinations
- Window sizes shall conform to the architectural style

Building Mass and Roofs:

- Gabled roofs with a pitch range from 4 in 12 to 6 in 12 for the main roof.
- Wings which project from the main mass and receive independent roof forms
- Roof materials of concrete or clay tile, 40-year composition asphalt shingles or slate.
- Window sizes shall conform to the architectural style

Building Articulation:

- Large, detailed eave projections with exposed rafter tails
- Gable roof projections may be supported by braces or extended beams
- Broad porches encompassing the majority of the house front or rear
- The gable roof on porches parallel to the roof of the main structure
- The detailing of porches showing variety, such as short square columns that rest on massive piers, battered columns or solid balustrades.
- Railings have square balusters or turned spindles

Doors and Windows

- Doors paneled or contain a combination of paneled and glazed elements, and entries usually occur singularly
- Doors have sidelights and transoms. The door trim surround consistent with the window trim.
- Windows and doors that have trim caps, brackets or other details over the window head
- Box and angled bay windows used as accents
- Double hung windows with multiple panes over one divisions
- Casements windows used as specialty windows
- Windows either flat, half-round or segmental arched tops.
- Windows and door sizes shall conform to the architectural style.

Materials and Colors

- Walls clad with stone, brick, stucco, wood siding, or plane shingles

Farmhouse: (Refer to Conceptual Illustration **Exhibit 5.5-3 and 5.8.4**)

Basic Elements

- Variable pitched roofs with moderate overhangs
- Expressive structural elements such as rafters, brackets and columns
- A mixture of materials such as stone, stucco and wood siding
- Porches incorporating heavy timber columns with knee braces
- Window sizes shall conform to the architectural style

Building Mass and Roofs

- Roofs gabled with a pitch range from 3 in 12 to 9 in 12 for the main roof
- Roofs simple gable, hipped or gambrel forms often with dormers

- Roof materials to be 40-year composition asphalt shingles, concrete tile or clay tile

Building Articulation

- Simple eave projections with trimmed rafter tails and fascia
- Broad porches encompassing the majority of the house front or rear
- Piers and balustrades of the same material as the main mass of the house
- Porch balustrades are connected to column supports

Doors and Windows.

- Doors paneled or a combination of paneled and glazed and entries usually occur singularly
- Doors have sidelights and transoms
- Windows and doors have trim details over the window head and doors
- Box and angled bay windows used as accents
- Picture windows
- Windows double hung with multiple pane over one division
- Door and window sizes shall conform to the architectural style

Materials and Colors

- Walls clad with stucco or wood siding
- Stone and brick used as accents

5.5.14 Lighting

The functional objectives in providing exterior area lighting are to illuminate areas necessary for safe and comfortable use. In certain situations, area lighting can add to the aesthetic appeal of a site by highlighting architectural features of a building or illuminating pathways and landscape plantings. In these instances, only the special features of a building or landscape shall be illuminated. It should be noted that the following standards address area lighting on individual properties.

5.5.14.1 Standards

Driveway, walkway, and building lights shall be directed downward.

- Illumination for aesthetic or dramatic purposes of any building or surrounding landscape utilizing exterior light fixtures project that light beyond the property line shall be prohibited.
- Lighting Levels - No consistent overall lighting and overly bright lighting shall be permitted. Lighting for pedestrian movement shall be permitted if it only illuminates entrances, changes in grade, path intersections, and other areas along paths.
- Structural Lighting Is not permitted in single-family areas.
- Lighting Height As a rule, the light source should be kept as low to the ground as possible while ensuring safe and functional levels of illumination. Area lighting shall be directed downward with no spill of lighting beyond the property line. Any light source over 10 feet high shall incorporate a cut-off shield to prevent the light source from being directly visible from areas off-site beyond the property line.

5.5.15 Landscape Standards

5.5.15.1 Functional Requirements

Single-family Patio Homes will be developed with typical front yard landscape plans establishing design details, and construction specifications prepared by a landscape architect. Typical landscape and irrigation construction plans will be submitted for approval by the City of Sparks. Developers shall be responsible for installation of individual front yard landscapes and irrigation systems prior to final inspection for the patio homes, weather permitting. Bonding will be required if time of year restricts planting.

5.5.15.2 Landscape & Irrigation Requirements

Front yard landscapes shall be designed utilizing low water demand principles and plant material. Homeowners will be encouraged to utilize low water demand principles in landscaping side yard courtyard. Developers of residential lots will be required to install the initial vacuum breaker and valves with an automatic controller for the front and rear yards and provide stubs to side yards.

5.5.15.3 Patio Homes Residential

Front-yard landscaping shall consist of turf, shrubs and/or ground cover and a minimum of two 15 gallon, 1½ min. caliper street trees per residence with one additional 15 gallon street tree for all corner lots. In addition, all front yard landscaping shall include acceptable automated irrigation designed to conserve water. Typical front yard landscape and irrigation plans must be submitted to the City of Sparks for approval prior to application to the City for building permits. (See **Table 5.5-2**, below.)

TABLE 5.5-2: FRONT MINIMUM LANDSCAPING REQUIREMENTS PER LOT

PLANT MATERIALS	QUANTITY	PLANT SIZE	MINIMUM SIZE
Turf		70% max coverage	
Shrubs	8 min	5 gallon	
Living ground cover	10	5 gallon equiv. 30% min. coverage	
*Trees for standard lot	2	15 gallon boxed or B+B Evergreen trees 6' feet min.	1 ½"- 50% 2"- 50%
*Trees for corner lots	3	15 gallon boxed or B+B	1 ½"- 60% 2"- 40%

- Trees shall not be placed less than 5' or greater than 7' from the back of the sidewalk.
- Turf and living ground covers shall cover 90% of the area.

5.5.16 Landscaping Installation and Maintenance

In addition to front yard landscaping, the Developer shall be required to install landscaping and irrigation along all major roadways including right-of-way and at the entrance of their respective parcel, and shall be responsible for all landscaping and irrigation required within the common area and common recreational facilities within their parcel. As streets are constructed associated landscaping shall be installed.

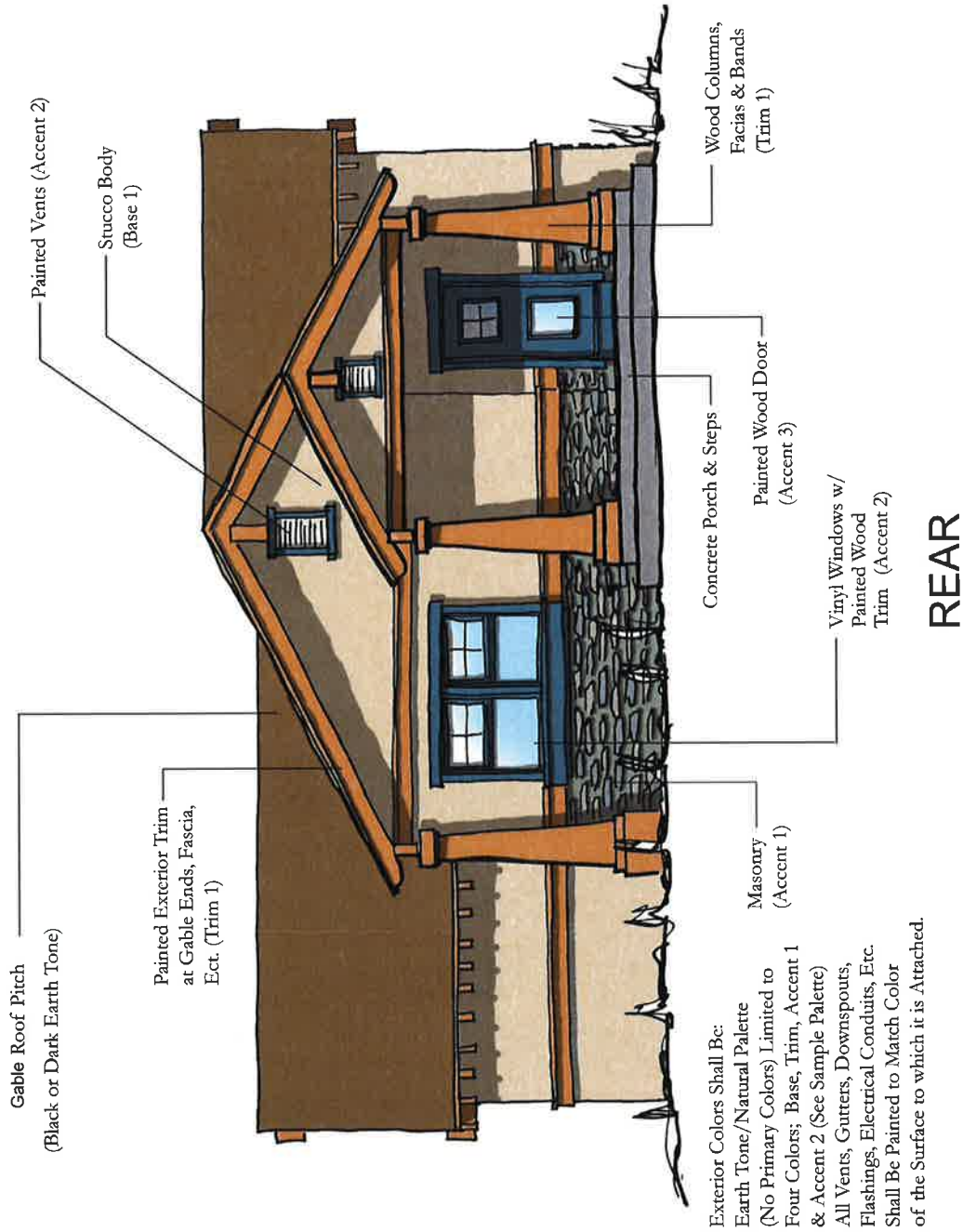
Individual lot owners shall be responsible for maintenance of all private rear and side yard landscaping and irrigation once installed. The Homeowners Association (HOA) will be responsible to maintain all landscaping and irrigation within common areas and common recreational facilities. The maintenance of all major roadway buffer landscaping shall be as outlined in Chapter Two of the Stonebrook Design Handbook.

All landscaped areas where turf grass is not used shall be covered with herbaceous shrubbery/prostrate ground cover. Bark mulches, stone cobble (4") are required to cover bare ground temporarily exposed during the maturation period of the ground cover. Planting areas shall be designed to achieve 90% ground coverage within three (3) years. Non-living materials (bark mulches and stone cobble) may not be used for more than 10% of the total landscape area and excludes the area of temporary coverage allowed for all plants and ground cover maturity.

5.5.17 Model Home Facilities, Temporary Sales Trailer/Construction Yards, Construction Hours

5.5.17.1 Model Home Complexes shall be reviewed and approved by the SAC and Administrator at the time of Sales Office permit application. The standards of Sparks Municipal Code, Section ~~20.41.090~~ and ~~20.41.110~~20.03.040(A)(f) Model Home Complex shall apply.

5.5.17.2 Construction Hours shall be limited to Monday – Friday 7 a.m. to 7 p.m., Saturday 9 a.m. to 5 p.m. and prohibited on Sundays.



Typical Craftsman Style

Exhibit 5.5-2a
Conceptual Illustration - Patio Homes 1

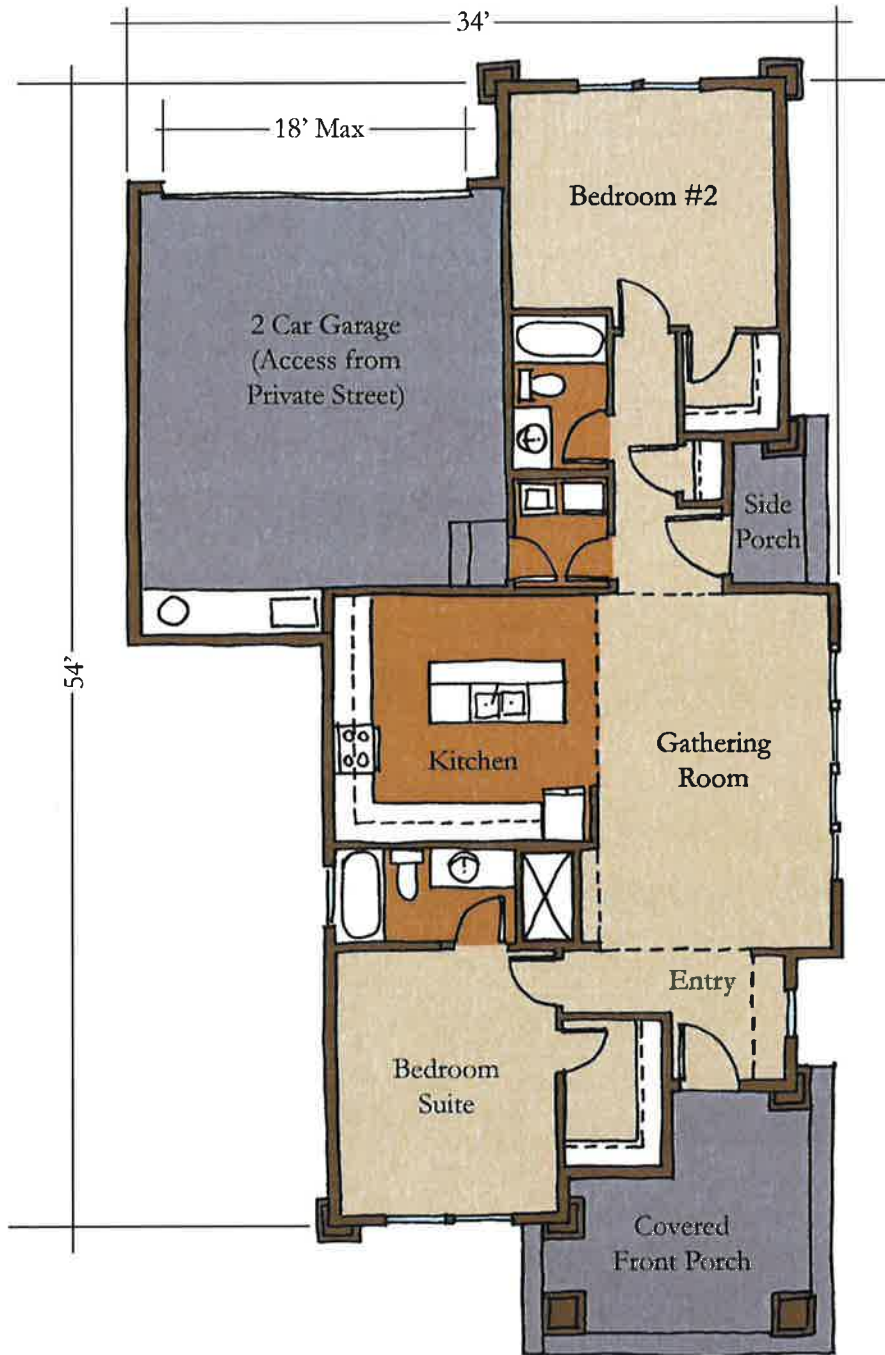
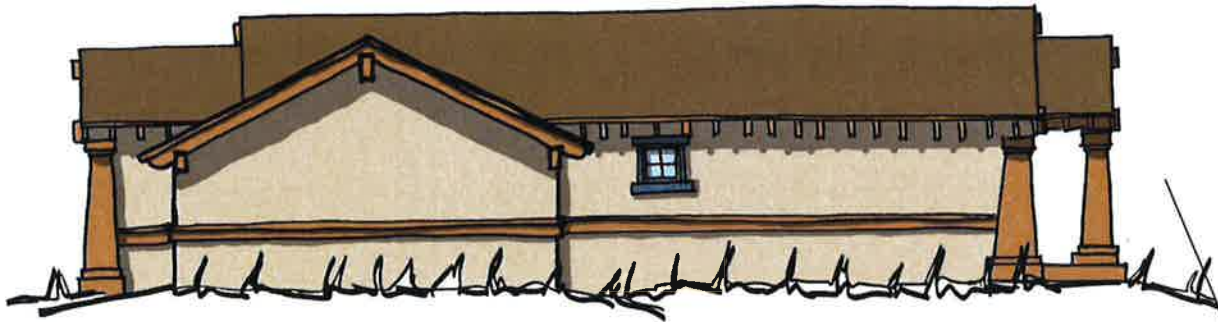


Exhibit 5.5-2b
Conceptual Illustration - Patio Homes 1



Side

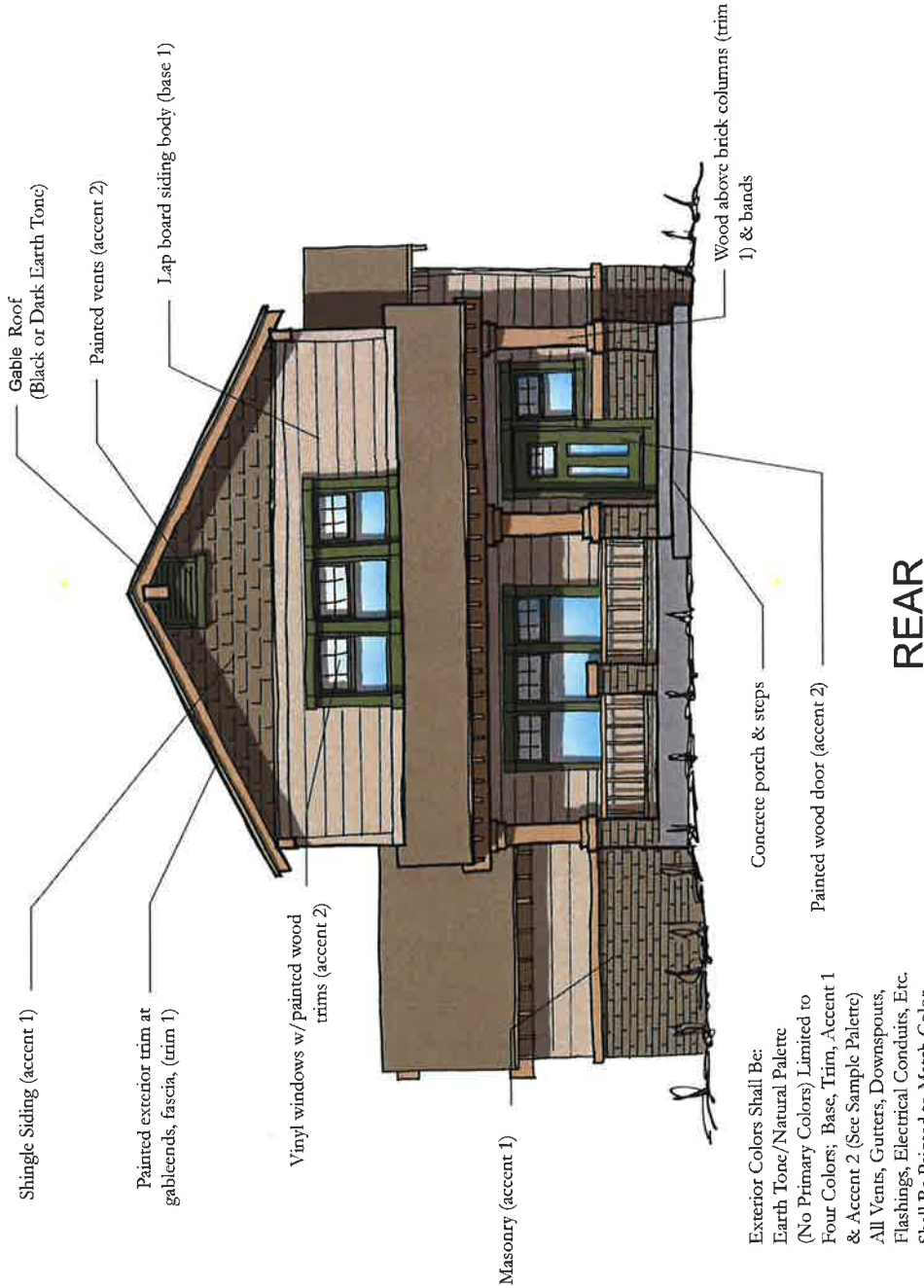


Side

All colors, materials
and architectural
elements same as
Exhibit 5.5-2



Front



Typical Farmhouse Style

Exhibit 5.5-3a
Conceptual Illustration - Patio Homes 2

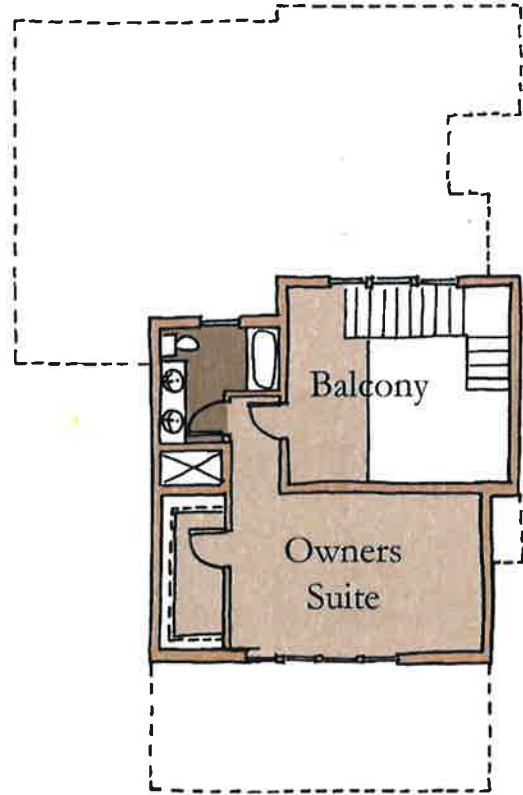
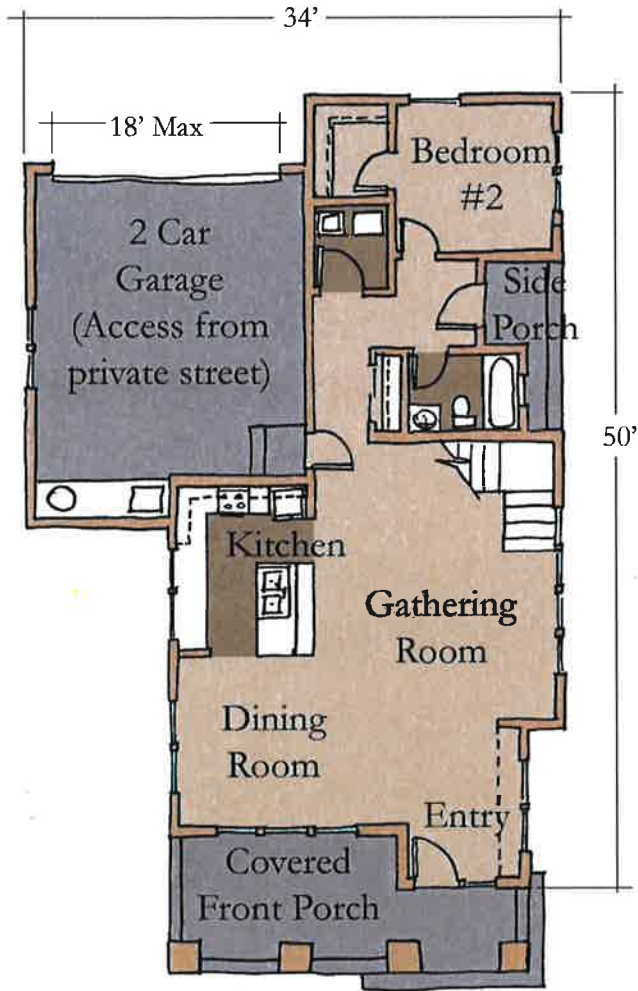
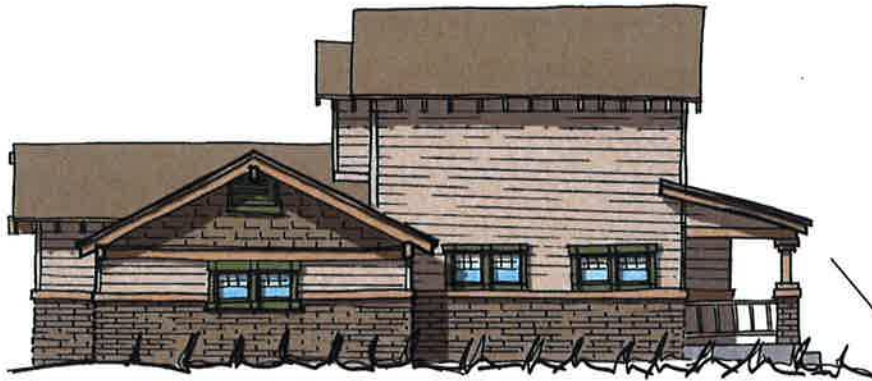


Exhibit 5.5-3b
Conceptual Illustration - Patio Homes 2



Side

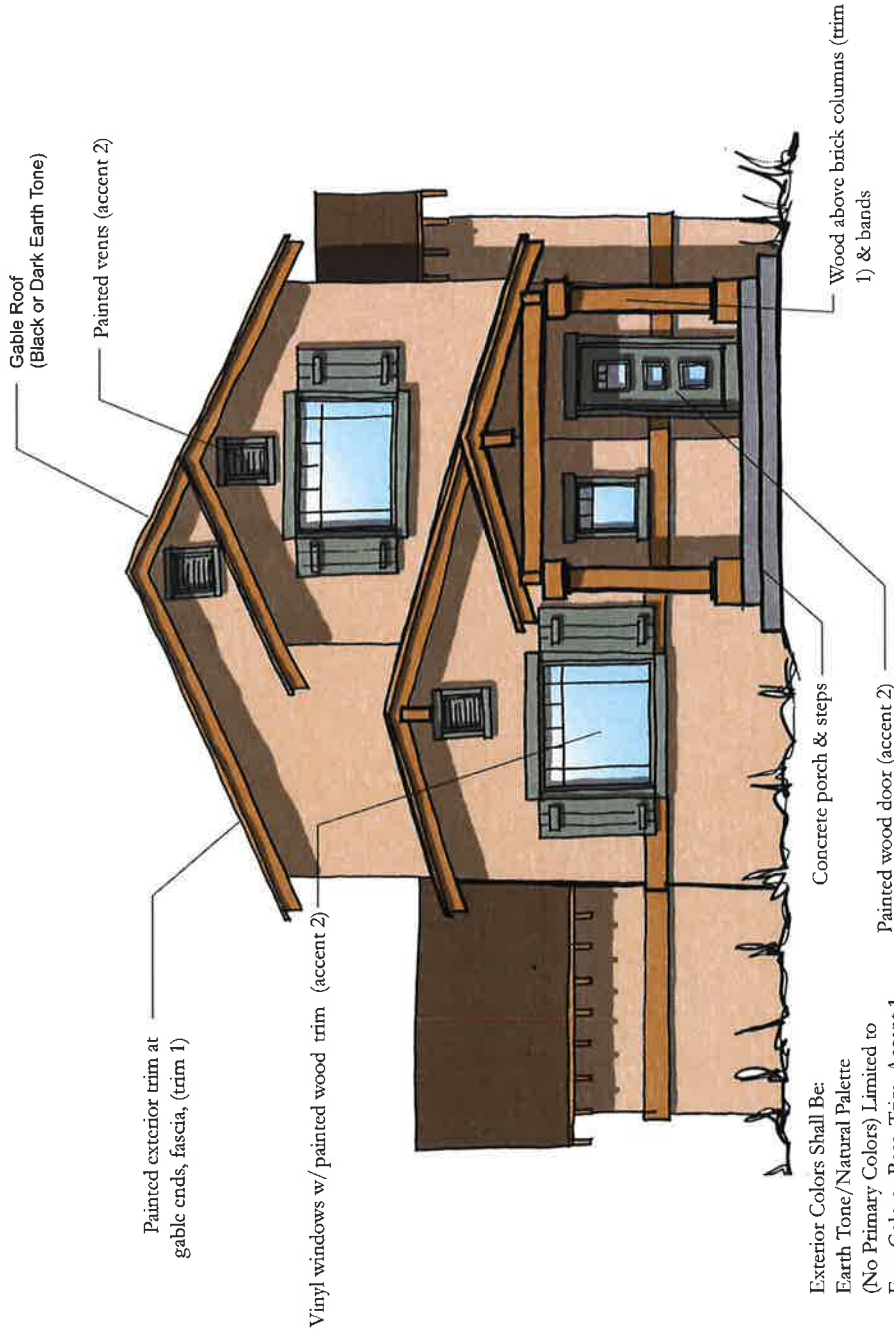


Side



Front

All colors, materials
and architectural
elements same as
Exhibit 5.5-3



REAR

Typical Farmhouse Style

Exterior Colors Shall Be:
 Earth Tone/Natural Palette
 (No Primary Colors) Limited to
 Four Colors; Base, Trim, Accent 1
 & Accent 2 (See Sample Palette)
 All Vents, Gutters, Downspouts,
 Flashings, Electrical Conduits, Etc.
 Shall Be Painted to Match Color
 of the Surface to which it is Attached.

Exhibit 5.5-4a
Conceptual Illustration - Patio Homes 3

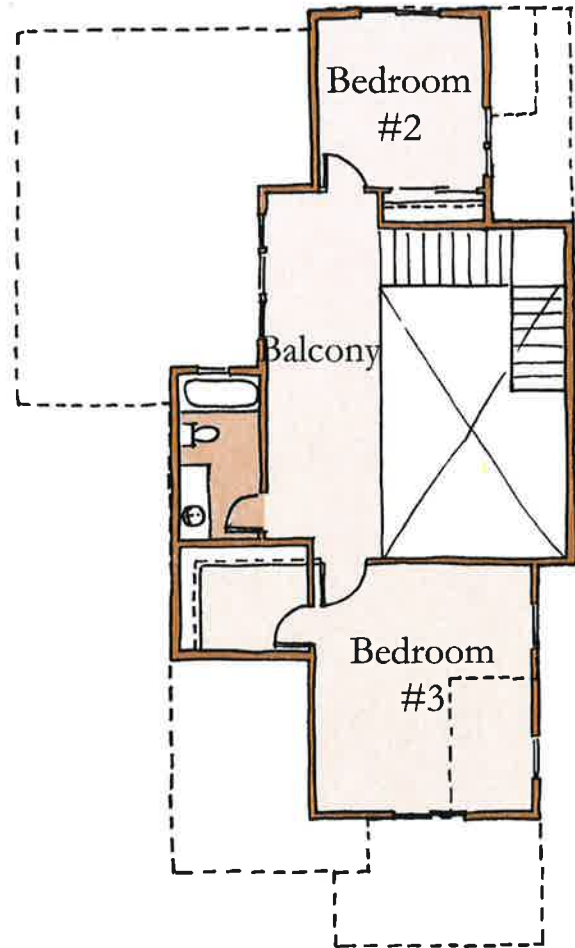
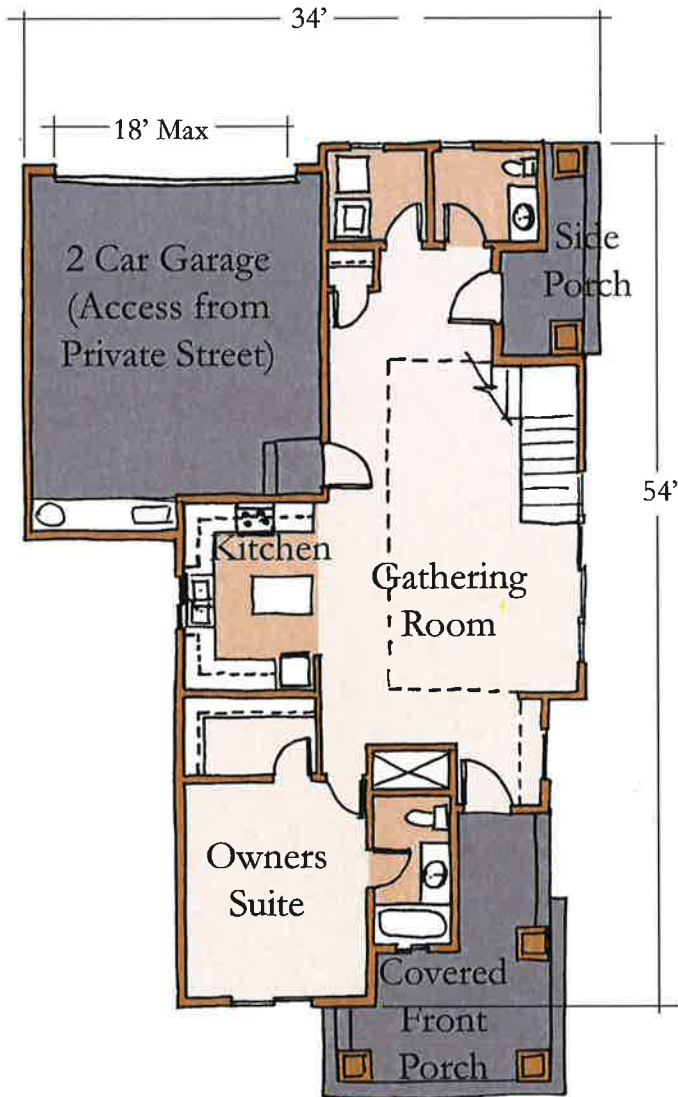
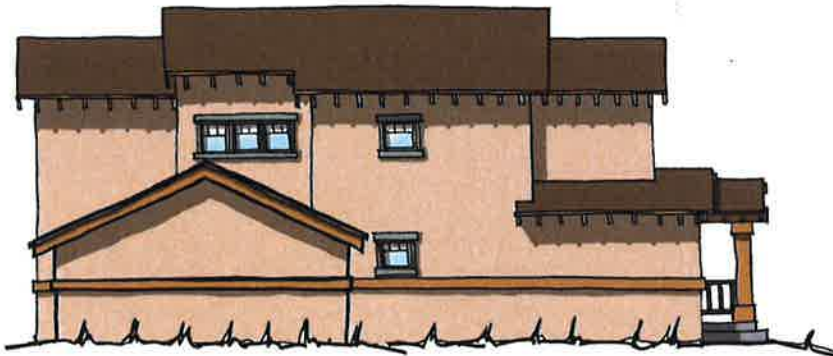


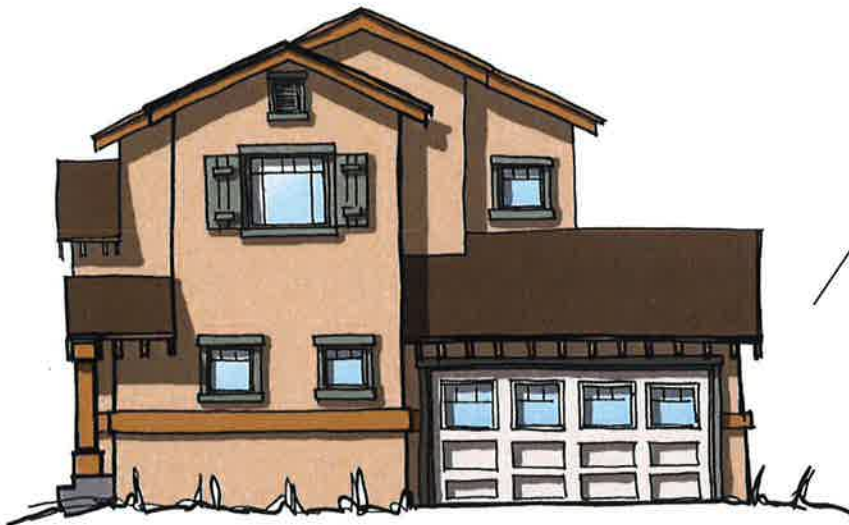
Exhibit 5.5-4b
Conceptual Illustration - Patio Homes 3



Side



Side



Front

All colors, materials
and architectural
elements same as
Exhibit 5.5-4

CHAPTER 6 MULTI-FAMILY (MDR) RESIDENTIAL

6.1 Land Use Designations, Permitted Uses, Lots Size and Setbacks

6.1.1 Land Use Designations:

MDR Medium Density Residential 14-24 d.u./Acre

6.1.2 Residential Permitted Uses:

Table 6-1: Multi-Family Permitted Uses

MULTI-FAMILY USES	MDR
Apartments (includes associated recreation facilities)	A
Condominiums (includes associated recreation facilities)	A
Detached Accessory Structure*	A
Assisted Living facilities	A
Managers Office	A
Temp. Sales/Const. Office/Yd. (per 6.4.1 and 6.4.2)	A
Active Adult Community (including recreation amenities such as club houses, pool, exercise area, tennis, etc.)	A

A = Permitted Use

* Detached accessory structures shall be defined as garages, equipment rooms, recreation facilities, maintenance facilities, etc.

- Any Standard not specifically addressed herein shall comply with City of Sparks Municipal Code.
- City of Sparks ~~Site Plan~~ Administrative Review is required for new construction and remodels.

6.1.3 Lot Sizes:

Table 6-2: Lot Sizes

LOT SIZES AND HEIGHT	MDR
Lots Size Minimum	1 Acre to serve Multi Family (MDR)
Lot Width Minimum	100 Feet
Lot Depth Minimum	100 Feet
Lot Frontage Minimum	35 Feet
Maximum Height	35 Feet
Maximum Coverage	50 Percent
Minimum Lot area per Dwelling	1,000 Square Feet

Note: Lot size shall take precedence over minimum lot dimensions. All minimum widths and depths depicted shall be the average per lot.

- Any standards not specifically addressed herein shall comply with applicable City of Sparks Municipal Code.

6.1.4 Building and Parking minimum setbacks:

Table 6-3: Building and Parking minimum setbacks

MEASURED FROM	BUILDING	PARKING
Property Line to	20'	15'
Building to	20'	15' *
Public Right of Way to	20'	15'

* Excludes parking within buildings.

- Any standards not specifically addressed herein shall comply with applicable City of Sparks Municipal Code ~~20.79, R-520.02.005 MF5~~ Zoning.

6.2 Multi-Family Site Planning & Design

6.2.1 Site design objectives of the multi-family development areas shall incorporate principles which take maximum advantage of the community amenities, utilizing open spaces, trail and pathway systems within Stonebrook; promote safe and efficient vehicular movement, with adequate and easily accessible parking areas; and create a pleasant living environment where the Multi-family units blend into Stonebrook's planned community.

6.2.2 Multi-family developments shall be designed around outdoor spaces and courtyards including landscaping amenities and central recreation (i.e. swimming pools, tennis courts, spas, work-out rooms, etc.) and congregation facilities interconnected with walkways, creating focal points throughout the multi family development. These walkways shall interconnect with Stonebrook's open space/trail and pathway systems linking the residents of these communities to parks and other public amenities within the development.

6.2.3 ~~Parking requirements for multi family (HDR) dwellings shall have the following minimum numbers of off-street parking spaces:~~

- ~~One bedroom units: 1.6 spaces (one covered space min.)~~

~~Two bedroom units or larger: 1 space per bedroom (one covered space min.)~~

~~Parking requirements shall comply with City of Sparks Zoning Code regulations for multifamily development.~~

6.2.4 Adequate parking areas and consideration of parking vicinity to dwelling units is necessary. Avoid long, uninterrupted expansive corridors of parking not greater than 200 feet long. Parking stalls along project entry drives will not be allowed.

6.2.5 Handicap units and parking shall be per City of Sparks Municipal Code at the time of development.

6.2.6 No RV or boat storage will be allowed within the Multi-family development.

6.2.7 Minimize the use of solid walls along property lines and public ROWs. Screening and sound attenuation may be best achieved through berming and landscaping. When used, walls shall be decorative and complementary to the architecture of the buildings. Walls and fences shall be in compliance with Chapter 11 of this Handbook. All proposed walls and fences shall be submitted to the SAC and Administrator at ~~Site Plan~~ Administrative Review.

6.2.8 Trash Enclosures shall not be visible from any public thoroughfare, open space or amenity areas.

- 6.2.9 Trash Enclosures shall be enclosed on all four sides with minimum 7' walls and gates which complement the building architecture. Gates shall be steel framed with 80% screening, consistent with the building architecture and will be constructed of the same durable materials as the building it serves.
- 6.2.10 Site design and landscaping shall provide recreational spaces and/or community site amenities.
- 6.2.11 All Multi-Family developments shall incorporate outdoor barbeque, with tables and eating areas in centrally located courtyards or recreation areas of the project. Barbeque or other outdoor cooking devices are specifically prohibited from use on individual unit patios and decks.
- 6.2.12 Five (5) of the following recreational facilities shall be provided; swimming pool, tennis courts, horse shoes, spa, exercise equipment, game room, community room, par course, walking trails (minimum ¼ mile in length), picnic areas to include tables with barbeques, volleyball court, basketball court, children's play area, and lawn areas for field games, or other similar recreational amenities as approved by the Administrator.
- 6.2.13 There shall be a complex directory sign located at the entrance to aide visitors and emergency response.

6.3 Multi-Family Architecture

- 6.3.1 The architectural design objective for multi-family units is intended to provide an aesthetic environment in balance and scale with the surrounding neighborhoods and community. Multi-family developments shall be designed to take advantage of outdoor spaces including central recreational areas and Stonebrook's Master Trail and Pathway system.
- 6.3.2 Once an architectural style has been established for the Multi-Family units, it shall apply to ALL BUILDINGS AND STRUCTURES within the complex, including all garages, recreation amenities, etc. **(Refer to Exhibits 6-1 to 6-4).**
- 6.3.3 Multi-family structures may extend up to a maximum of 35 feet in height as measured from the highest point of the building to the lowest finished grade at the base of the structure.
- 6.3.4 New Multi-Family residential developments shall respect the scale and character of adjacent residential neighborhoods through attention to views, building scale and orientation, proximity to adjacent uses, location of driveways, lighting and landscape, and access to Stonebrooks' Master Trail and Pathway system. Exterior spaces shall be designed to enhance the overall appearance and compatibility of such development by providing privacy, buffering and daylight, and to provide a pleasant transition to the street.
- 6.3.5 Building articulation shall be incorporated to avoid a linear pattern or long blank walls. A minimum 2' projection or recess shall occur not less than every 50 linear feet of wall. Building facades can be articulated by using color arrangement, or change in materials to emphasize the façade elements. The planes of the exterior walls may be varied in height, depth or direction. Building articulations shall employ recesses/projections (minimum 2') of the vertical wall surfaces by incorporating porches, balconies, entries, lookouts, overhangs, and other features of interest. **(Refer to Exhibit 6-1 to 6-4).**
- 6.3.6 Varying orientations of building footprint shall also take in consideration the natural surroundings and views, development amenities, shading from adjacent buildings, public Right of Ways, and the abutting uses.

- 6.3.7 Design elements and detailing shall be continued completely around the structures. Such design elements shall include window treatments, trim detailing, and exterior wall materials.
- 6.3.98 Elevations of buildings shall contain the same palette of materials and theme on all four sides of the building. Exterior materials shall include three or more of the following: masonry, stone, stucco, wood, heavy timbers, vinyl siding, or as approved by SAC and Administrator. **(Refer to Exhibit 6-1 to 6-4).**
- 6.3.9 Exterior materials shall be selected for their durability and ease of maintenance. **(Refer to Exhibit 6-1 to 6-4).**
- 6.3.10 Varying roof styles, planes and articulation on a single building will be required and shall be consistent with the theme or style of the architectural style of the complex. **(Refer to Exhibit 6-1 to 6-4)**
- 6.3.11 Hip, gable, and shed roofs are all acceptable roof forms.
- 6.3.12 Roof run-off shall also be evaluated to ensure proper drainage within the development. All roofs shall be guttered and piped to the onsite drainage system.
- 6.3.13 Once a roof material has been identified for a specific Multi-Family Project it shall be used consistently throughout that project. Roof materials shall be concrete or clay tiles, non-reflective color treated metal roofing or 40-year architectural grade composition shingles. An individual project shall choose one type of roofing to be utilized throughout the development of that project. All proposed roofing material shall have the approval of the SAC and Administrator. All roofs must be, at a minimum, rated Class A Fire Retardant or Better.
- 6.3.14 Roof material selection and colors shall be identified at time of ~~Site Plan~~Administrative Review and be subject to review and approval by the SAC and Administrator
- 6.3.15 No Flat Roofs (including car ports) shall be permitted within the Multi-Family portions of Stonebrook. Roofs shall be designed in direct scale and proportion to the architecture of the structure.
- 6.3.16 No roof mounted mechanical equipment, antenna or appurtenances shall be permitted. One satellite dish per structure may be permitted, provided the dish is 18" in diameter or less and mounted discretely, to the approval and enforced by the SAC, on an eave or soffit to maximize screening.
- 6.3.17 Each Multi-Family Dwelling unit shall have an individual balcony, patio, or deck, at least 8' wide. All balcony, patio and deck fencing shall be architecturally consistent with the theme of the complex. Balcony, patio and deck areas shall be designed to accommodate customary outdoor furnishings. **(Refer to Exhibit 6-1 to 6-4).**
- 6.3.18 Stairways shall be non-obtrusive and be integrated into the design of the buildings. Prefabricated or generic tube metal/pan stairs are not permitted. Continuous outdoor balcony corridors will not be permitted.
- 6.3.19 Architectural building elevations depicting colored exterior elevations (all sides) building materials and conceptual floor plans shall be submitted to the SAC and Administrator as part of ~~Site Plan~~Administrative Review.
- 6.3.20 Building colors shall reflect or complement the natural background environment. Colors shall blend, rather than clash, with the natural setting. Exterior colors shall be of an earth

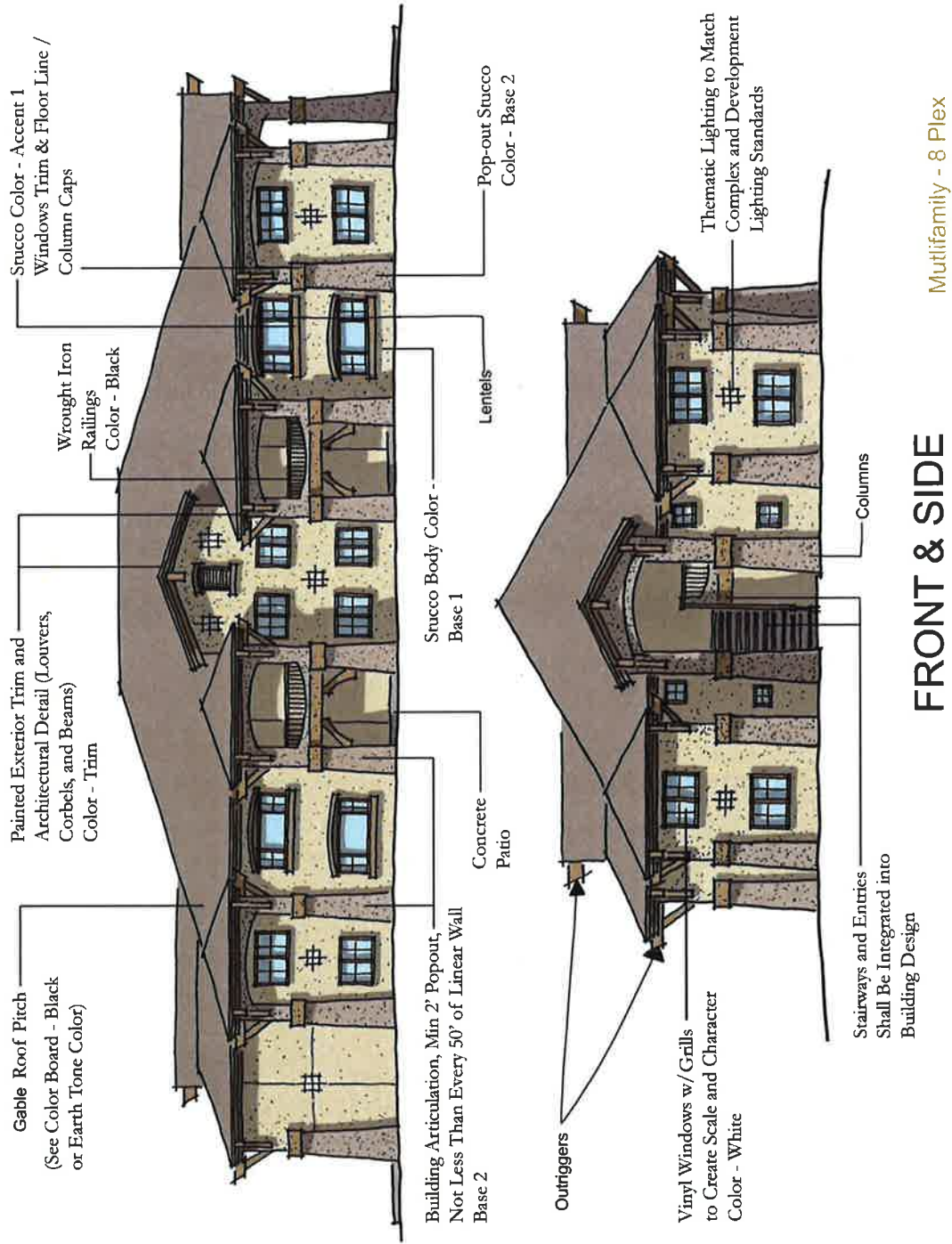
tone/natural palette, complementary with the natural surroundings of Stonebrook. No primary colors will be allowed. **(Refer to Exhibits 5.2-7 and 5.2-8).**

- 6.3.21 Specific sample color palettes for body, trim and accent colors shall be submitted to the SAC for review and approval prior to submittal to the City. The SAC reserves the right to determine the final color palette, which will be submitted to the City for review and approval with Site Plan Administrative Review. **(Refer to Exhibit 5.2-7 and 5.2-8).**
- 6.3.22 All vents, gutters, downspouts, flashings, electrical conduits, etc. shall be painted to match surface to which they are attached.
- 6.3.23 Detached garages, accessory structures and parking structures shall employ the same architectural features of the main buildings. Pole carports will not be allowed. Garage roof structures shall have visible slope and have either hipped or gabled treatments.
- 6.3.24 Detached garages shall have a heat detector in each garage unit with a single alarm bell on the outside of the structure (local bell only). A sign shall be placed under the bell that reads "If this bell is ringing, please dial 911". Letters shall be 4" red on a white background.
- 6.3.25 Thematic lighting and addressing on buildings shall be consistent in type and placement throughout the complex. Fixture dimensions shall be appropriate to the scale of the structure. Each project shall provide a Project directory at the entrance identifying the location of all buildings within the project. All fixtures shall be submitted to the SAC for approval prior to installation.
- 6.3.26 Parapet walls and screen walls, when applicable, shall be treated as an integral part of the architecture of the main structure.
- 6.3.27 Each Multi-Family dwelling unit shall contain clothes washer and dryer hook-ups.
- 6.3.28 **Refer to Exhibit 6-1 to 6-4** for the Multi Family Conceptual Architectural Character.

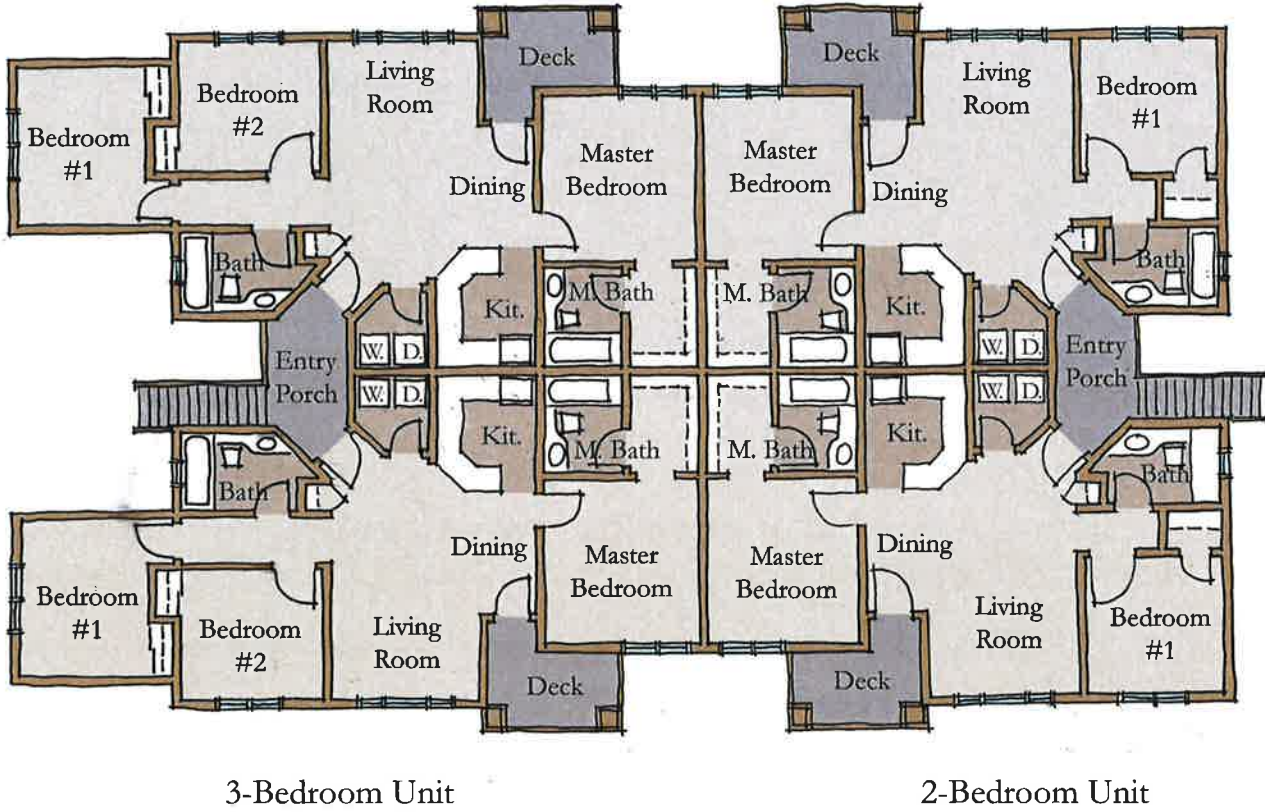
6.4 Model Home Facilities, Temporary Sales Trailer/Construction Yards, Construction Hours

- 6.4.1 Model Home Complexes shall be reviewed and approved by the SAC and Administrator at the time of Sales Office permit application. The standards of Sparks Municipal Code, Section ~~20.41.090 and 20.41.080 and 20.41.110~~ 20.03.040(A)(f) Model Home Complex shall apply.
- 6.4.2 Construction hours shall be limited to Monday – Friday 7 a.m. to 7 p.m., Saturday 9 a.m. to 5 p.m. and prohibited on Sundays.

**Exhibit 6-1
Multi-Family - 8 Plex Conceptual Illustration**

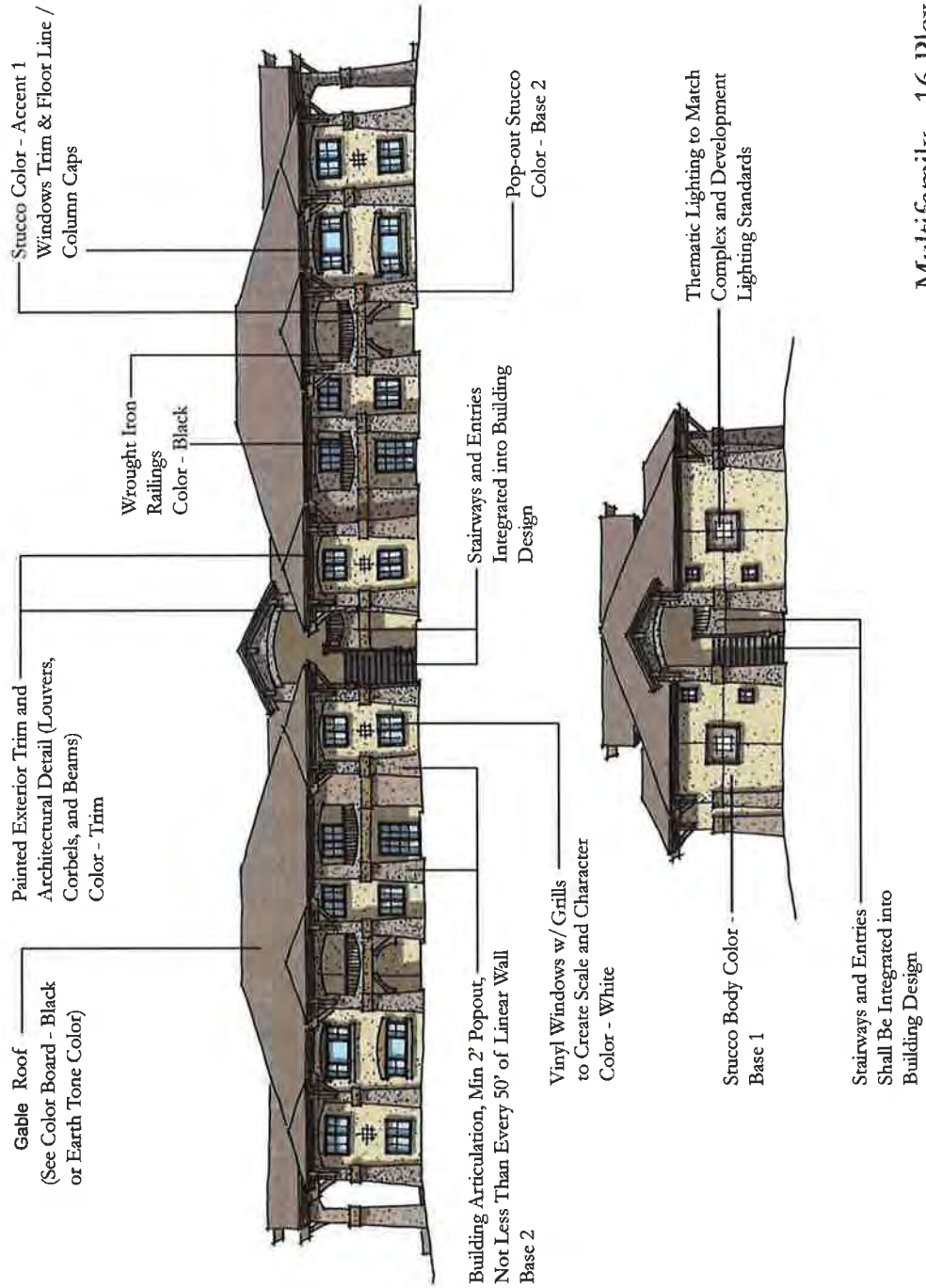


**Exhibit 6-2
Multi-Family - 8 Plex Floor Plan Conceptual Illustration**



**Multifamily – 8 Plex
Second Level – First Level Similar**

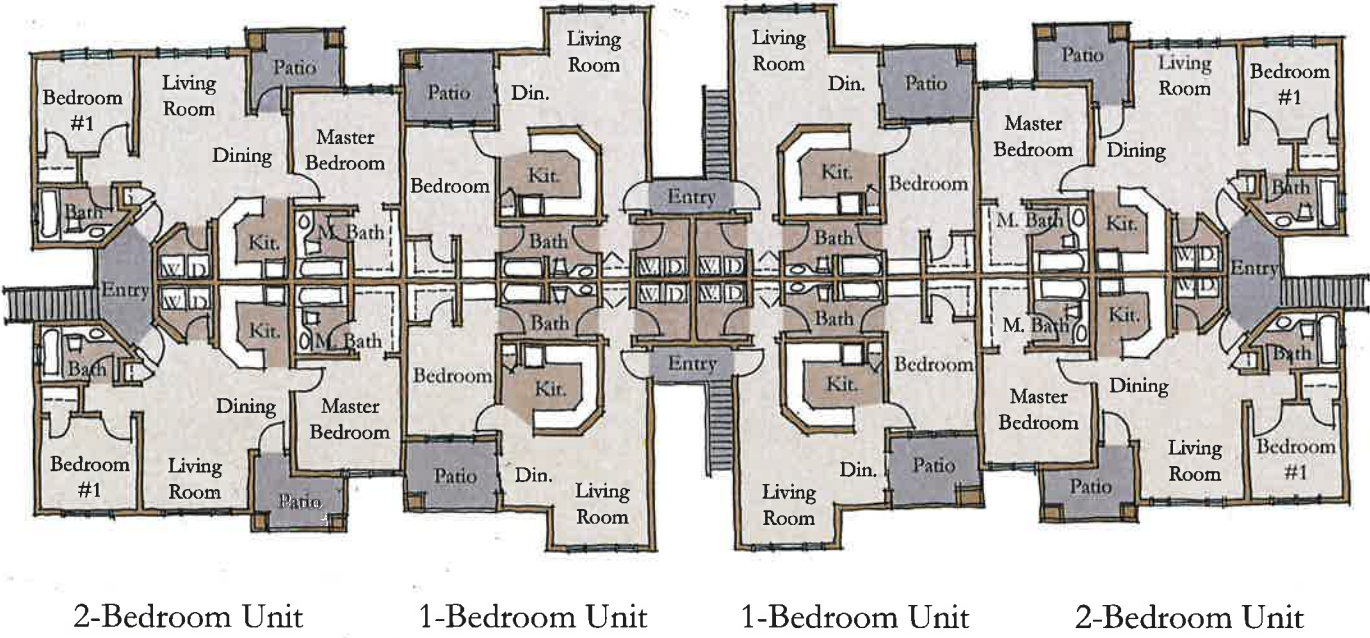
Exhibit 6-3
Multi-Family - 16 Plex Conceptual Illustration



Multifamily - 16 Plex

FRONT & SIDE

Exhibit 6-4
Multi-Family - 16 Plex Floor Plan Conceptual Illustration



Second Floor Level
First Level Similar

CHAPTER 7 GENERAL COMMERCIAL

7.1 Land Use Designations, Permitted Uses and Setbacks

7.1.1 Land Use Designations:
GC General Commercial

7.1.2 Commercial Retail Permitted Uses:

Table 7-1: Commercial Retail Permitted Uses

COMMERCIAL RETAIL PERMITTED USES	CR
Assisted Living Facilities	A
Car Washes	A
Child Care – Per Washoe County Health Regulations	A
Churches	CS
<u>Charter Schools (K-12)</u>	<u>A</u>
Clinics (medical/dental)	A
Community Centers	A
Convenience Stores	A
Drive-Through Facilities in conformance with SMC 20.41	A
Education/Training Centers	A
Fast Food Establishments	A
Feed Stores/Vet Supply/Tack	A
Financial	A
Gas Sales & Auto Service (max 12 nozzles)	A
Grocery/Drug	A
Health & Fitness Center (less than 3000 s.f.)	A
Health & Fitness Center (greater than 3000 s.f.)	CS
Lodging (Hotel/Motel) 200 rooms or less	A
Lodging (Hotel/Motel) More than 200 rooms	CS
Mini-Warehouses/RV Outdoor Storage (see Section 7.6.20 for required development standards criteria.)	A
Nursery Sales (Retail) with stock stored in enclosed designated area	A
Nursing Homes	A
Office Supply/Copying/Mail/Shipping (Retail)	A
Private Recreation/Fitness Centers less than 3,000 s.f.	A
Private Recreation/Fitness Centers greater than 3,000 s.f.	CS
General/Professional/Medical Offices	A
Public Utility Structures (Transmission, Storage and Substation facilities)	CS
Restaurants/Bars	A
Retail Sales and personal services	A
Temporary Construction yards and trailers per SMC section 20.41.080 and 110	A
Veterinary Services (Small Pets, no outside kennels)	A
Home Improvement Center (retail) with stock stored in enclosed designated area	A
<hr/>	
A – Permitted Use	<u>S-C</u> – <u>Conditional</u> Special Use Permit Required

- City of Sparks **Site-Plan Administrative** Review required for all new construction.
- Any Standard not specifically addressed herein shall comply with City of Sparks Municipal Code, Title 20.85 and equivalent to C2 Zoning.

7.1.3 Building and Parking minimum setbacks:

Table 7-2: Building and Parking Minimum Setbacks/Height

MEASURED FROM	BUILDING	PARKING & DRIVE AISLES	MAX. HEIGHT
Side Property Line to	10'	10'	60' *
Rear Property Line to	20'	10'	60' *
Public Right of Way to	20'	15'	60' *
Building to	0' to 10'	10	60' *
Rear Property Line adjacent to residential	20' or the height of the building, whichever is greater	10'	60' *

*Note: The maximum total building height may extend up to a maximum of sixty feet in height as measured from the finish floor elevation of the ground floor to the highest part of the roof element of the structure. Any structure exceeding 60 feet in height must be approved through a **Special Conditional** Use Permit.

Minimum Bldg. Site Area = 6,000 Square Feet.

7.1.4 All required setback areas should be landscaped in a manner complementary to the on-site architecture and Right of Way (ROW) landscape design concepts as further discussed in Chapter 10 of this Handbook.

7.2 Commercial Retail Site Design

7.2.1 The objective of the Commercial Retail design standards is to provide an efficient and attractive commercial element that provides necessary services to the surrounding residential communities. Interconnecting the commercial element with the neighboring residential and multi-family villages, via the trail and pathway system, will enhance the sense of community by providing both vehicular and pedestrian access to these facilities.

7.2.2 The master developer for the commercial parcel shall be required to submit a Master Plan for the entire 40 and/or 7.8 acres sites. At a minimum, the Master Plan shall depict site access, circulation, parking areas, common/landscape areas and building pad locations. This Master Plan shall be subject to **administrative site-plan**-review approval prior to the issuance of the first building permit. The master Plan may include the first building(s) within the Parcel. The architecture presented with the **site-plan-administrative** review shall establish the architectural theme for the entire center. At a minimum, improvements (i.e. circulation driveways, landscaping, parking, etc.) shall be phased to ensure conformance with this handbook as well as the Sparks Municipal Code.

7.2.3 Site grading shall accommodate the proposed development. Grading plans shall demonstrate the following:

- Phasing Plan of the proposed project
- Proper disposal of strippings, no stockpiles
- Balance cut and fill with on site materials when feasible

- Provide and maintain adequate erosion and dust control measures per regulations
- Site drainage complies with the Best Management Practices to the approval of the Public Works Director and the Administrator.

Refer to Chapter 3 of this Design Handbook for additional site work and grading requirements.

- 7.2.4 Site drainage shall conform to the requirements of the Stonebrook Flood Control Master Plan, City of Sparks Hydrologic Criteria and Design Manual, and Nevada Department of Environmental Protection Storm Water Discharge Standards (NDEP).
- 7.2.5 Each project entry shall be designed to stand out from the building elevations, with identifiable access points for pedestrian users from the street into the site, and from the site to the buildings. Landscape, hardscape, and architectural design elements for the project site and building entries must work together to create a sense of arrival.
- 7.2.6 Disabled access shall be provided for each project as required by Federal, State and local governmental requirements.
- 7.2.7 Parking requirements shall conform to ~~Title 20.49~~ of the City of Sparks Municipal Code.
- 7.2.8 Loading and delivery spaces shall be located as far away as possible from single family residential properties. Loading areas shall be provided for each freestanding restaurant site or other accommodations made. Loading docks shall not be directly visible from a public street. Screening shall be complete (80% landscape screening within 3 years) and shall match the design of the building. To discourage the accumulation of trash and stored goods, no area behind commercial buildings shall be paved unless it is required for parking, circulation, loading activities, or service activities. Truck maneuvering/ circulation areas adjacent to residential properties must be designated to prohibit trucks from parking and idling in these locations, except in approved loading spaces and docks.
- 7.2.9 Screen walls shall observe the same setback requirements as parking along public right of ways.
- 7.2.10 Loading dock areas shall be screened from any public thoroughfare, open space, public parking lots, plazas or amenity areas.
- 7.2.11 Trash enclosures shall be enclosed on all four sides with minimum 7' walls and gates, which complement the building architecture. Gates shall be steel framed with 80% screening, consistent with the building. Architecture and will be constructed of the same durable materials as the building it serves.
- 7.2.12 Trash Enclosures shall be discretely situated and screened on the site, preferably in service areas to the rear of commercial, not visible from public streets.
- 7.2.13 Each site design shall specifically address the needs of package pick-up and delivery, as well as the myriad of service vehicles of various sizes that will be visiting a project, as determined through the Site Plan Administrative Review process.
- 7.2.14 All utilities shall be underground, pursuant to construction specifications of the utility provider.
- 7.2.15 All above ground utility appurtenances, i.e. transformers, switch cabinets, backflow preventers, etc., shall be screened from general public view by landscaping, selective

placement, or an architectural element of the building(s) they serve. No latticework will be used.

7.2.16 Satellite dishes and/or antennas, if used, must be completely screened from the public as viewed from a height of 5 feet above ground level within 20' of the structure to which it is a part of. Location of Satellite dishes shall be approved by the SAC.

7.2.17 Temporary Construction Yards and Trailers shall conform to SMC section 20.41.080 and 20.41.110.

7.3 Construction, Operation and Maintenance

All commercial land uses shall be maintained through a Common Area Agreement. The CC&R's shall include this agreement as an irrevocable covenant for the life of the project. A single contact person responsible for common area maintenance shall be identified to the Planning / Community Development Department at all times. All common area, paving, buildings, signage, structures, landscaping, walls and lighting shall be maintained in good repair at all times.

7.3.1 The CC&R's shall designate the responsible party for all grease traps which shall be approved by the Industrial Waste Division of the City of Sparks Public Works Department.

7.3.2 Shopping cart enclosures shall be approved by the City of Sparks at the time of ~~site plan~~Administrative review. The center, as part of its common area maintenance, shall be responsible for keeping shopping carts on-site subject to City ordinances as amended from time to time. The center shall provide for prompt retrieval of carts taken off-site. Shopping cart corals within parking areas shall be depicted on the site plan and approved by the SAC and Administrator.

7.3.3 Deliveries to the site and noise-generating maintenance such as parking lot sweeping, snow removal and trash service shall be limited to 7 am to 10 pm. No truck idling shall be permitted on-site outside of these hours. Shopping cart storage areas should be incorporated into the building design, to provide a visual screen of carts from the parking area. Storage of shopping carts should not be located where they may hinder pedestrian walkways or access to the buildings.

7.3.4 Security patrol for the center and parking lots shall be provided from 7 pm to 6 am. Shopping cart corals within parking areas shall be depicted on the site plan and approved by the SAC and Administrator.

7.3.5 Hours of operation for certain parcels adjacent to residential areas shall be limited to 7 a.m. to 10 p.m., seven days a week, unless extended through the ~~site plan~~Administrative review or SpecialConditional Use Permit approvals. For businesses more than 1,000 feet from single family houses, hours of operation shall not be limited.

7.3.6 Construction hours shall be limited to Monday – Friday 7 a.m. to 7 p.m., Saturday 9 a.m. to 5 p.m. and prohibited on Sundays.

7.4 Construction Yards shall conform to SMC ~~20.41.110~~20.03.040(A)(b).

7.5 Temporary Sales Office Trailer shall conform to SMC ~~20.41.080~~ 20.03.040(A)(g).

7.6 Commercial Architecture

7.6.1 The architectural design objective for the Commercial element is to provide an aesthetic environment. The commercial architectural guidelines are to ensure both a consistent level

of design quality and visual cohesion throughout Stonebrook Commercial. Once an architectural style has been established for the core Commercial Element, it shall be applied to all pad site structures within the complex. Refer to **Exhibits 7-1 through 7-6**.

- 7.6.2 The commercial element of Stonebrook will achieve a common architectural style as defined by Exhibits 7-1 through 7-6. These Conceptual Architectural Character Depictions illustrate this common style.
- 7.6.3 The maximum total building height may extend up to a maximum of sixty feet in height as measured from the finish floor elevation of the ground floor to the highest part of the roof element of the building.
- 7.6.4 Varied proportions are required in the design of building elevations. The scale of building elements, especially at the pedestrian level, shall be close to human scale. Refer to Exhibits 7-1 through 7-6.
- 7.6.5 Projects shall develop a pedestrian scale relationship with ground level facades, that relate to human scale. One of many ways that this can be accomplished is through breaking the façade into bays and smaller forms along with providing signage and/or graphics in size and location appropriate to the pedestrian. This pedestrian relationship in scale can also be developed through the introduction of arcades and landscape features. Refer to Exhibits 7-1 through 7-6.
- 7.6.6 The plane of the exterior walls shall be varied in height, depth or direction. Elevations exceeding 50 feet in length as measured horizontally shall incorporate plane projections and/or recesses. Projections and/or recesses shall be a minimum depth of 2 feet. A minimum of four of the following shall be applied: (Refer to **Exhibits 7-1 through 7-6**)
- Building facades shall be articulated by using color arrangement and/or change in materials to emphasize the façade elements.
 - Recessed or projected balconies, porches and arcades shall create a sense of depth in a building wall.
 - Details such as deep reveals, expressed columns, recessed doors and windows, and changes in texture help divide a wall plane into smaller scale parts that relate to human size and scale. These recesses divide the mass of a building into smaller scale providing strong areas of shade and shadow.
 - Rear and side elevations shall be designed with detailing and shall be architecturally consistent with the principal facades of the building.
 - Parapet walls and screen walls shall be treated as an integral part of the architectural design of the main structures.
 - Reveals, returns and deep recesses at openings shall be used to exaggerate wall thickness.
 - Cornices, ornamental moldings, lamps and other architectural details that provide visual interest, shadow, contrast and color shall be used. This is especially desirable at pedestrian level. Detail should be integrated with the design concept of the building.
 - Awnings, windows, columns and color or material changes shall be used to add visual interest.

- 7.6.7 Pitched and/or varied rooflines are required as façade treatments or arcades at commercial buildings.
- 7.6.8 All buildings shall have a clearly defined, highly visible entryway. Entryway design elements shall provide orientation and aesthetically pleasing character to the building. The main entrance shall have a sense of prominence that is reflected in the design and shall contain more detail and scale than other openings. Refer to **Exhibits 7-1 through 7-6**.
- 7.6.9 Retail structures, which are in excess of 100 feet in horizontal length, shall utilize multiple entry locations.
- 7.6.10 Acceptable entryway design elements must consist of at least five of the following; (Refer to **Exhibits 7-1 through 7-6**)
- Canopies or porticos
 - Awning/Overhangs
 - Recesses or Projections
 - Peaked Roof Forms
 - Arches
 - Outdoor patios
 - Decorative exterior wall, door and window treatments (i.e. precast concrete moldings, tile, granite, brick, rock, or cultured stone, etc.)
 - Integral planters, landscaped courtyards
- 7.6.11 Architectural building elevations depicting colored exterior elevations (all sides) shall be submitted to the SAC for review and approval prior to submittal for the ~~Site Plan~~Administrative Review application to the City and submitted to the Administrator as part of the ~~Site Plan~~Administrative Review submittal.
- 7.6.12 Specific sample color palettes and materials for body, trim and accent colors shall be submitted to the SAC for review and approval prior to submittal to the City for final approval. The SAC reserves the right to determine the final color palette, which shall be submitted to the City for approval. Refer to **Exhibits 7-1 through 7-6** Commercial Conceptual Architectural Character. The ~~Site Plan~~Administrative Review submittal to the City shall contain SAC approved color palettes and materials boards.
- 7.6.13 All vents, gutters, downspouts, flashings, electrical conduits, etc. shall be painted to match the surface to which they are attached.
- 7.6.14 Exterior materials shall be selected for their durability and ease of maintenance.
- 7.6.15 Exterior materials selected for a building shall be consistently applied or linked throughout a specific project (if a building is faced in a veneer of brick or tile this feature should in some manner turn-the-corner or wrap the building to present a finished appearance). Exterior materials are masonry, rock or cultured stone, block or brick, glass/glazing, stucco (EIFS), precast concrete panels, textured or reveal panel tilt up concrete, heavy timbers, wood. Refer to **Exhibits 7-1 through 7-6**.
- 7.6.16 Built-up roofing systems shall be effectively screened (as viewed from 5 feet above ground level a distance of 100 feet from the building) on all sides by the building parapet. Parapet height must equal or exceed the height of the highest point of a built-up roof, as well as all roof-mounted equipment.
- 7.6.17 All roof elements of a built-up or single ply roof application shall be finished in a uniform neutral color.

- 7.6.18 All rooftop equipment, including but not limited to, satellite and other telecommunication equipment, air handling units, elevator equipment, cooling towers and exhaust fans are to be screened from view as viewed from 5 feet above ground level a distance of 20 feet from the building. Building screens should be treated as an integral part of the architecture, incorporating similar design, detailing and materials and may not appear as add-ons and made of durable materials.
- 7.6.19 Thematic lighting and addressing on buildings shall be consistent in type and placement throughout the building. Fixture dimensions shall be appropriate to the scale of the structure. All fixtures shall be submitted to the SAC for approval prior to installation and approved through the Special Conditional Use Permit process by the City of Sparks.
- 7.6.20 All mini-warehouse/storage facilities shall be submitted, reviewed and approved through the Site Plan Administrative review process. They shall also conform to the following:
- On site living quarters shall be provided for managers for onsite security.
 - A complete application for Site Plan Administrative Review including colored building elevations of all four sides, a wall and fencing plan with details and elevations and a color palette with a materials board shall be submitted for review and approval by the SAC prior to submittal to the City and to the Administrator as a part of Site Plan Administrative Review submittal.
 - To meet the required amount of on-site landscaping, a minimum 10-foot landscape strip shall be required to be installed between ~~block~~ exterior wall and the public right-of-way.

Signage & Lighting

- Signage is required to be integrated into architecture
- Decorative lighting on buildings, landscape lighting, and building up lighting from planting beds are required

Primary Elements

- Provide step in wall height min. 2 ft. Horizontally and / or vertically.
- Project or recess building mass when length of wall exceeds 50'
- Mix of slope and differing roof pitches w/ a variety of complimentary materials and roof elements are required

Corner Element

- Change in roof height and roof/wall materials required
- Plan/wall projection 2 foot min.
- Overhead canopy elements & columns required



Trash Enclosures and Service Areas

- Provide screen walls to be constructed of materials consistent with building materials. Gates to be metal to provide 80% screen

Landscape Elements

- The integration of landscape elements, such as planters, pots, and trellises are required

FRONT

Signage & Lighting

- Signage is required to be integrated into architecture
- Decorative lighting on buildings, landscape lighting, and building up lighting from planting beds are required

Primary Elements

- Provide step in wall height min. 2 ft.
- Project or recess building mass when length of wall exceeds 50'
- Mix of slope and differing roof pitches w/ a variety of complimentary materials and roof elements are required

Corner Element

- Change in roof height and roof/wall materials required
- Plan/wall projection 2 foot min.
- Overhead canopy elements & columns required



Trash Enclosures and Service Areas

- Provide screen walls to be constructed of materials consistent with building materials. Gates to be metal to provide 80% screen.

Landscape Elements

- The integration of landscape elements, such as planters, pots, and trellises are required

SIDE

- Signage & Lighting**
- Signage is required to be integrated into architecture
 - Decorative lighting on buildings, landscape lighting, and building up lighting from planting beds are required
- Primary Elements**
- Provide step in wall height min. 2 ft.
 - Project or recess building mass when length of wall exceeds 50'
 - Mix of slope and differing roof pitches w/ a variety of complimentary materials and roof elements are required
- Corner Element**
- Change in roof height and roof/wall materials required
 - Plan/wall projection 1 foot min.
 - Overhead canopy elements & columns required



- Trash Enclosures and Service Areas**
- Provide screen walls to be constructed of materials consistent with building materials. Gates to be metal to provide 80% screen.
- Landscape Elements**
- The integration of landscape elements, such as planters, pots, and trellises are required

FRONT

Signage & Lighting

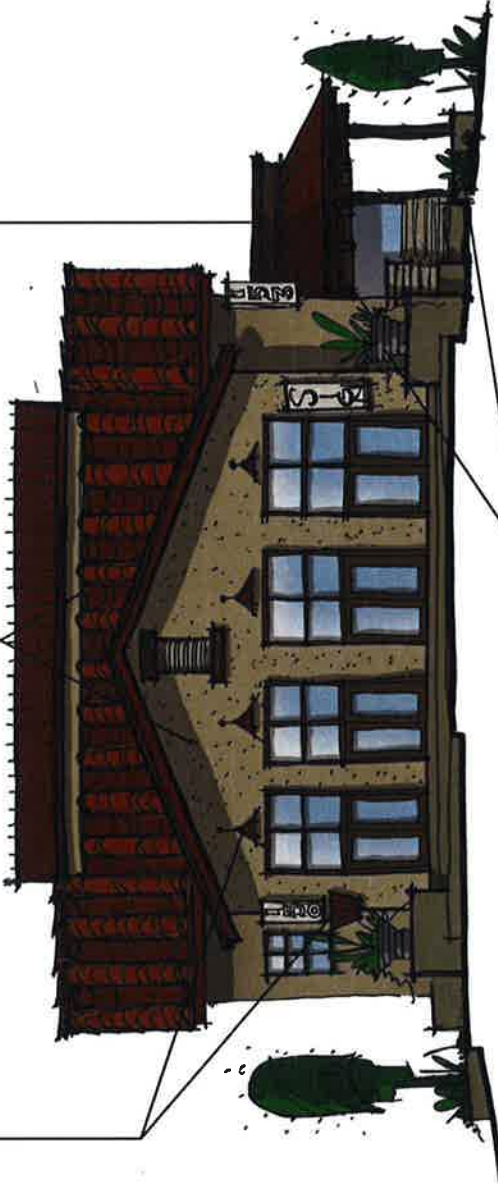
- Signage is required to be integrated into architecture
- Decorative lighting on buildings, landscape lighting, and building up lighting from planting beds are required

Primary Elements

- Provide step in wall height min. 2 ft.
- Project or recess building mass when length of wall exceeds 50'
- Mix of slope and differing roof pitches w/ a variety of complimentary materials and roof elements are required

Corner Element

- Change in roof height and roof/wall materials required
- Plan/wall projection 1 foot min.
- Overhead canopy elements & columns required



Trash Enclosures and Service Areas

- Provide screen walls to be constructed of materials consistent with building materials. Gates to be metal to provide 80% screen.

Landscape Elements

- The integration of landscape elements, such as planters, pots, and trellises are required

SIDE

Signage & Lighting

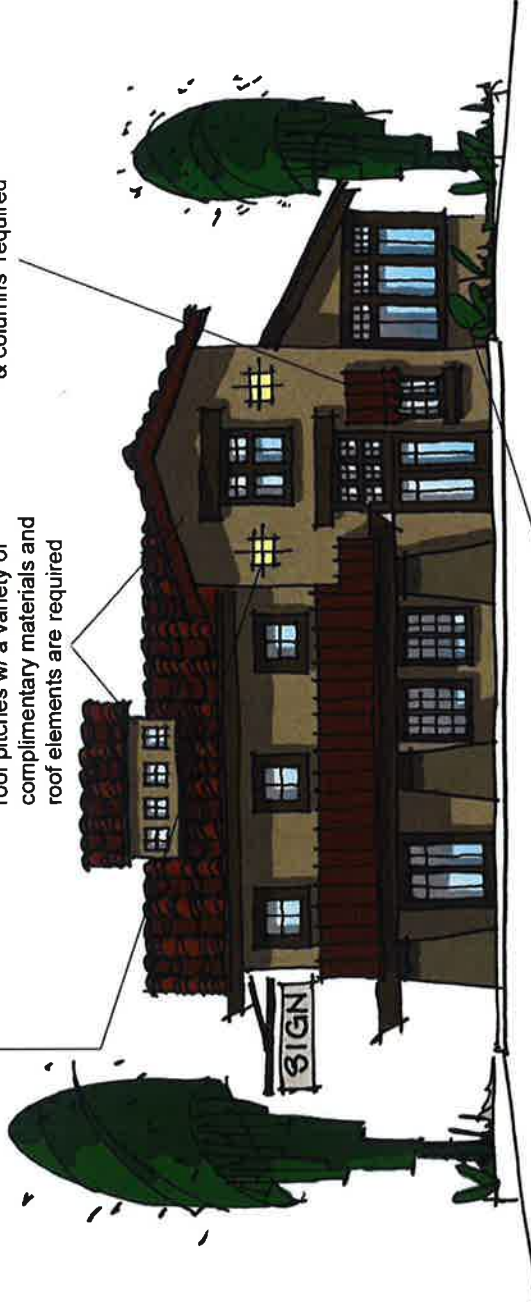
- Signage is required to be integrated into architecture
- Decorative lighting on buildings, landscape lighting, and building up lighting from planting beds are required

Primary Elements

- Provide step in wall height min. 2 ft.
- Project or recess building mass when length of wall exceeds 50'
- Mix of slope and differing roof pitches w/ a variety of complimentary materials and roof elements are required

Corner Element

- Change in roof height and roof/wall materials required
- Plan/wall projection 1 foot min.
- Overhead canopy elements & columns required



Trash Enclosures and Service Areas

- Provide screen walls to be constructed of materials consistent with building materials. Gates to be metal to provide 80% screen.

Landscape Elements

- The integration of landscape elements, such as planters, pots, and trellises are required

FRONT/SIDE - Freestanding Commercial Pad Building

Signage & Lighting

- Signage is required to be integrated into architecture

Primary Elements

- Provide step in wall height min. 2 ft.
- Project or recess building mass when length of wall exceeds 50'
- Mix of slope and differing roof pitches w/ a variety of complimentary materials and roof elements are required



GAS PUMP CANOPY

CHAPTER 8 BUSINESS PARK

8.1 Land Use Designations, Permitted Uses, Setbacks

8.1.1 Land Use Designations:

8.1.2. BP Business Park

8.1.23 Business Park Permitted Uses:

Table 8-1: Business Park Permitted Uses

BUSINESS PARK PERMITTED USES	BP
Administrative and General Office	A
Beauty Salon/Barbers	AN
Child Care	AN
<u>Charter Schools (K-12)</u>	<u>A</u>
Clinics (Medical/Dental)	A
Corporate or Regional Headquarters	A
Convenience Stores (Max. of 3,000 SF)	AN
Education/Training Centers	A
Financial Companies/Institutions	A
General/Professional/Medical Offices	A
High Technology	A ¹
Hospitals, Healthcare	A
Lodging (Hotel/Motel) 200 rooms or less	<u>AN</u>
Lodging (Hotel/Motel) More than 200 rooms	<u>CS</u>
Office Supply/Copying	AN
Recreation/Fitness Centers less than 3000 sq. ft.	AN
Recreation/Fitness Centers greater than 3000 sq. ft.	<u>CS</u>
Production and Assembly/High Tech.	A ²
Public Utility Structures	<u>CS</u>
Research & Development Campus	A ¹
Restaurants/Bars	AN
Temporary Construction, Storage Yards and Trailers per SMC section 20.44.080 and 110	A

A – Permitted Use CS – Special Conditional Use Permit Required

A¹ – Must comply with those permitted uses described in City of Sparks Municipal Code.

A² – Use primarily in the development, assembly, packaging, testing and/or repair of high value technologic components, devices, equipment, system and parts.

AN – Ancillary uses permitted in conjunction with permitted, established uses.

- City of Sparks Administrative Review required for all permitted uses for new construction and remodels.
- Any Standard not specifically addressed herein shall comply with City of Sparks Municipal Code.

8.1.34 Building and Parking minimum setbacks

Table 8-2: Building and Parking Minimum Setbacks

MEASURED FROM	BUILDING	PARKING & DRIVE AISLES*	MAX. HEIGHT
Side Property Line to	10'	10'	60'
Rear Property Line to	20'	10'	60'
Public Right of Way to	20'	15'	60'
Building to	0' to 10'	10	60'
Rear Property Line adjacent to residential	20' or the height of the building, whichever is greater	10'	

* NOTE: All setback areas shall be completely landscaped for Chapter 10

Table 8-3: Building Intensity – Business Park*

MEASUREMENT	QUANTITY
Total Area	33.65 acres = 1,466,000 sq. ft.
FAR	0.6 Min.
Building Coverage	30% max = 439,800 sq. ft.
Max Number of Floors	5 Floors*
Estimated sq. ft.	± 880,000 sq. ft.
Minimum Lot Size	15,000 sq. ft.

* NOTE: The building intensity standards are established to allow a variety of building mass alternatives but requires a minimum amount of development intensity. As required in Table 8-3 the minimum intensity of development equals 2.0 floors of building development.

8.2 Business Park General

8.2.1 The intent of the Business Park Land designation is to permit an integration of various types of land uses and create jobs in the Spanish Springs Valley. This also allows greater flexibility to respond to meeting the market demands within the Spanish Springs community. Additionally, the Business Park component is intended to provide more geographically immediate employment opportunities to the Spanish Springs community thereby shortening commutes for residents.

8.2.2 Stonebrook’s Business Park shall accommodate both large corporate as well as smaller ancillary and professional service businesses. Stonebrook offers opportunities for high technology companies, laboratories, research and development facilities, office and professional buildings, and corporate offices. The Stonebrook Business Park, due to its convenience and close proximity to the residential neighborhoods within the Spanish Springs Valley, will effectively reduce the number of vehicular trips currently exiting and re-entering the Valley area overall.

The objective of the Business Park design standards is to provide an efficient and attractive business park element, which provides necessary services to the surrounding residential communities. Interconnecting the business park element with the neighboring commercial, residential and multi-family villages, via the trail and pathway system, will enhance the sense of community by providing both vehicular and pedestrian access to these facilities.

8.3 Site Design

8.3.1 Site Characteristics shall conform to the following:

- Refer to Table 8-2 above for all setback requirements.
- Minimum landscape area; 20% of gross site area.
- Parking; High Tech, Research and Development, – 2 ½ spaces per 1,000 SF of leasable office area.
- Other parking requirements shall conform to Chapter 20.49-04.009 of the City of Sparks Municipal Code.

8.3.32 Street patterns will be designed to permit the safe, efficient and orderly movement of private, commercial and service vehicles, pedestrians and cyclists throughout the business park. Individual parcel development shall interconnect with these roadways. Internal parking and driveway networks shall also demonstrate the safe, efficient and orderly movement of vehicles and pedestrians.

8.3.43 Site grading shall accommodate the proposed development. Grading plans shall demonstrate the following:

- Phasing Plan of the proposed project.
- Proper disposal of strippings, no stockpiles.
- Balance cut and fills with on site materials when feasible.
- Provide and maintain adequate erosion and dust control measures per Washoe County District Health Department regulations.

Refer to Chapter 3 of this Design Handbook for additional site work and grading requirements

8.3.54 Site drainage shall conform to the requirements of the Stonebrook Flood Control Master Plan, City of Sparks Hydrologic Criteria and Design Manual, and Nevada Department of Environmental Protection Storm Water Discharge Standards (NDEP).

8.3.65 Landscape, hardscape, and architectural design elements for the project site and building entries must work together to create a sense of arrival.

8.3.76 Disabled access shall be provided for each project as required by Federal, State and Local governmental requirements.

8.3.87 Solid screen walls shall be employed where service areas, and loading dock areas occur. Screen walls shall be decorative and designed as part of the building architecture with similar materials and constructed of durable materials. Loading dock areas shall shield trucks as viewed at a perpendicular angle from 5 feet above ground level.

8.3.98 Screen walls shall observe the same setback requirements as parking along public right-of-ways (15 feet).

8.3.109 Loading dock areas shall be screened from any public thoroughfares, open space, public parking lots, plazas or amenity areas.

8.3.110 Trash enclosures shall be enclosed on all four sides with minimum 7' walls and gates, which complement the building architecture. Gates shall be steel framed with 80% screening, consistent with the building architecture and will be constructed of the same durable materials as the building it serves.

8.3.1211 Trash Enclosures shall be discreetly situated and screened on the site ~~P~~preferably in service areas to the rear of buildings not visible from public streets.

8.3.1312 Loading and delivery spaces shall be located as far away as possible from single-family residential properties. Loading areas shall be provided for each freestanding restaurant site or other accommodations made. Loading docks shall not be directly visible from a public street. Screening shall be complete (80% landscape screening within 3 years) and shall match the design of the building. To discourage the accumulation of trash and stored goods, no area behind commercial buildings shall be paved unless it is required for parking, circulation, loading activities, or service activities. Truck maneuvering/ circulation areas adjacent to residential properties must be designated to prohibit trucks from parking and idling in these locations, except in approved loading spaces or docks.

8.3.1413 All utilities shall be underground, pursuant to construction specifications of the utility provider.

8.3.1514 All above ground utility appurtenances, i.e. transformers, switch cabinets, backflow preventers, etc., shall be screened from general public view by either landscaping or selective placement, or an architectural element of the building(s) they serve. No latticework will be used.

8.3.1615 Satellite dishes and/or antennas, if used, must be completely screened from public as viewed at ground level within 20' of the structure to which it is a part of. The SAC shall approve location of satellite dishes.

8.3.1716 Temporary Construction Storage Yards and Trailers. All construction job sites within Stonebrook are to be maintained in a clean and orderly fashion. If a temporary use site is not maintained or returned to a reasonable state of cleanliness, Stonebrook has the authority to authorize clean-up by an outside party and assess the cost of this clean-up against the owner.

8.3.18.17 Business Park Construction, Operation and Maintenance

Business Park land uses may be maintained through a Common Area Agreement. If property is leased with common area and not sold as free standing parcels. The CC&R's shall include this agreement as an irrevocable covenant for the life of the project. A single contact person responsible for common area maintenance shall be identified to the Planning /Community Development Department at all times. All common area, paving, buildings, signage, structures, landscaping, walls and lighting shall be maintained in good repair at all times.

1. Construction and construction-related activities shall be limited to the hours of 7 am to 7 pm, Monday through Friday at 9 a.m. to 5 p.m. Saturday. No work shall be performed on Sundays. The developer shall install and maintain signs at project entries stating these limits. At the conclusion of construction, the developer shall remove these signs.

2. Deliveries to the site and noise-generating maintenance such as parking lot sweeping, snow removal and trash service shall be limited to 7 am to 10 pm. No truck idling shall be permitted on-site outside of these hours.

8.3.1918 Construction Yards shall conform to SMC ~~Section 20.41.110~~ 20.03.040(A)(b).

8.3.2019 Temporary Sales Office Trailer shall conform to SMC ~~Section 20.41.080~~ 20.03.040(A)(g).

8.4 Architecture

- 8.4.1 The architectural design objective for the Business Park element is to provide an aesthetic environment. The Business Park architectural guidelines are to ensure both a consistent level of design quality and visual cohesion throughout the Business Park.
- 8.4.2 Project design concepts shall consider the following elements: (Refer to **Exhibits 8-1 through 8-7**)
- Promote compatibility between developments.
 - Promote clustering and integrated design of buildings.
 - Promote visually interesting buildings
 - The maximum total building height may extend up to a maximum of sixty feet in height as measured from the finish floor elevation of the ground floor to the highest part or the roof element of the building.
- 8.4.3 Varied proportions are required in the design of building elevations. The scale of building elements, especially at the pedestrian level, shall be close to human size. (**Exhibits 8-1 through 8-7**)
- 8.4.4 Projects shall develop a pedestrian scale relationship with ground level facades that relate to the human scale. One of many ways that this can be accomplished is through breaking the façade into bays and smaller forms along with providing signage and/or graphics in size and location appropriate to the pedestrian. This pedestrian relationship in scale can also be developed through the careful introduction of arcades and landscape features.
- 8.4.5 The plane of the exterior walls may be varied in height, depth or direction. Elevations exceeding 50 feet in length as measured horizontally shall incorporate plane projections and/or recesses. Projections and/or recesses shall be a minimum depth of 2 feet. A minimum of four of the following shall be applied: (Refer to **Exhibits 8-1 through 8-7**)
- Building facades should be articulated by using color arrangement or change in materials to emphasize the façade elements.
 - Recessed or projected balconies, porches and arcades shall create a sense of depth in a building wall.
 - Details such as deep reveals, expressed columns, recessed doors and windows, and changes in texture help divide a wall plane into smaller scale parts that relate to human size and scale. These recesses divide the mass of a building into smaller scale providing strong areas of shade and shadow.
 - Rear and side elevations shall be designed with detailing and shall be compatible with the principal facades of the building.
 - Parapet walls and screen walls shall be treated as an integral part of the architecture of the main structure.
 - Reveals, returns and deep recesses at openings are encouraged to exaggerate wall thickness.
 - Cornices, ornamental moldings, lamps and other architectural details that provide visual interest, shadow, contrast and color shall be used. This is especially desirable at pedestrian level. Detail should be integrated with the design concept of the building.

- Awnings, windows, columns and color or material changes shall be used to add visual interest.
- 8.4.6 Pitched and/or varied rooflines are required as façade treatments or arcades at buildings including gables, hips or other roof treatments.
- 8.4.7 All buildings shall have a clearly defined, highly visible entryway. Entryway design elements shall provide orientation and aesthetically pleasing character to the building. The main entrance shall have a sense of prominence that is reflected in the design and shall contain more detail and scale than other openings. Refer to **Exhibits 8-1 through 8-7**.
- 8.4.8 Acceptable entryway design elements shall consist of at least five of the following:
 - Canopies or porticos
 - Awning/Overhangs
 - Recesses or Projections
 - Peaked Roof Forms
 - Arches
 - Outdoor patios
 - Decorative exterior wall, door and window treatments (i.e. precast concrete moldings, tile, granite, brick, rock, or cultured stone, etc.)
 - Integral planters, landscaped courtyards
- 8.4.9 Fenestrations and window treatments shall complement a building's basic solid massing. Mullion patterns shall provide scale and modulation that relate to the overall building design.
- 8.4.10 Renderings depicting colored exterior elevations (all sides) shall be submitted to the SAC and Administrator as part of ~~Site Plan~~ Administrative Review submittal.
- 8.4.11 Specific sample color palettes for body, trim and accent colors shall be submitted to the SAC for review and approval prior to submittal to the City for final approval. The SAC reserves the right to determine the final color palette, which shall be submitted to the City for approval. Refer to Exhibit 8-1 through 8-7 Business Park Conceptual Architectural Character.
- 8.4.12 All vents, gutters, downspouts, flashings, electrical conduits, etc. shall be painted to match the surface to which they are attached.
- 8.4.13 Exterior materials shall be selected for their durability and ease of maintenance.
- 8.4.14 Exterior materials selected for a building shall be consistently applied or linked throughout a specific project (if a building is faced in a veneer of brick or tile this feature should in some manner turn-the-corner or wrap the building to present a finished appearance). Exterior materials shall be masonry, rock or cultured stone, block or brick, glass/glazing, stucco (EFIS), precast concrete panels, textured or reveal panel tilt up concrete, heavy timbers or wood. Refer to **Exhibit s 8-1 through 8-7**.
- 8.4.15 Built-up roofing systems shall be effectively screened (as viewed from ground level a distance of 100 feet from the building) on all sides by the building parapet. Parapet height must equal or exceed the height of the highest roof element of a built-up roof.
- 8.4.16 All roof elements of a built-up or single ply roof application shall be finished in a uniform neutral color.

- 8.4.17 All rooftop equipment, including but not limited to, satellite and other telecommunication equipment, air handling units, elevator equipment, cooling towers and exhaust fans are to be screened from view as viewed from 5 feet above ground level a distance of 20 feet from the building. Building screens should be treated as an integral part of the architecture, incorporating similar design, detailing and materials and may not appear as add-ons and made of durable materials.
- 8.4.18 Thematic lighting and addressing on buildings shall be consistent in type and placement throughout the building. Fixture dimensions shall be appropriate to the scale of the structure. All fixtures shall be submitted to the SAC for approval prior to installation and approved by the Administrator as part of the ~~Site Plan~~Administrative Review.
- 8.4.19 Enclosed interior storage directly associated with assembly of high technology components or service businesses are permitted within the project area. Storage Areas may not exceed 15% of the total building area. No outside storage is allowed.
- 8.4.20 Refer to **Exhibit 8-1 through 8-7** for Conceptual Business Park Architectural Character depictions.

**Exhibit 8-1
Single-story Ancillary Business Concept**

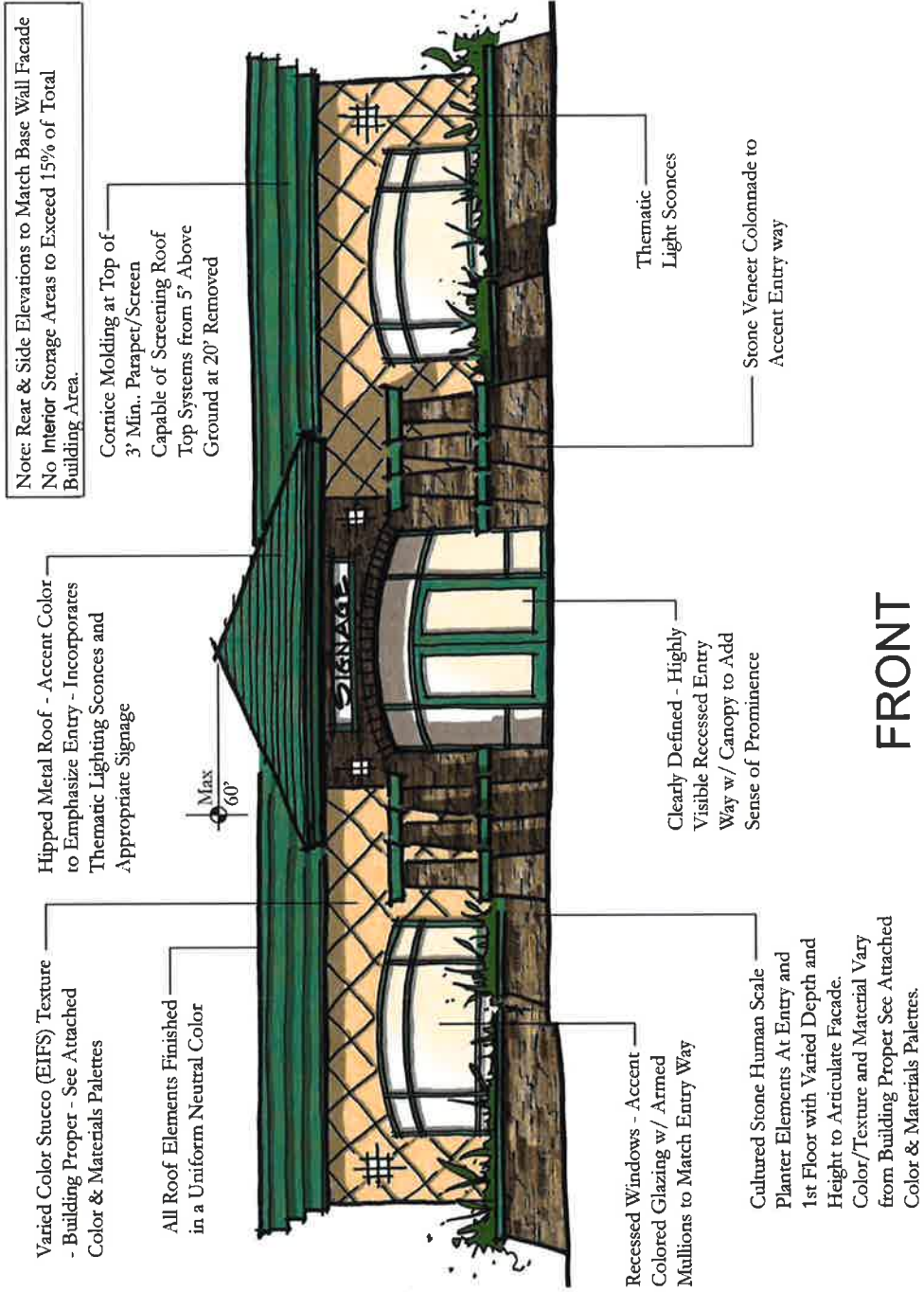
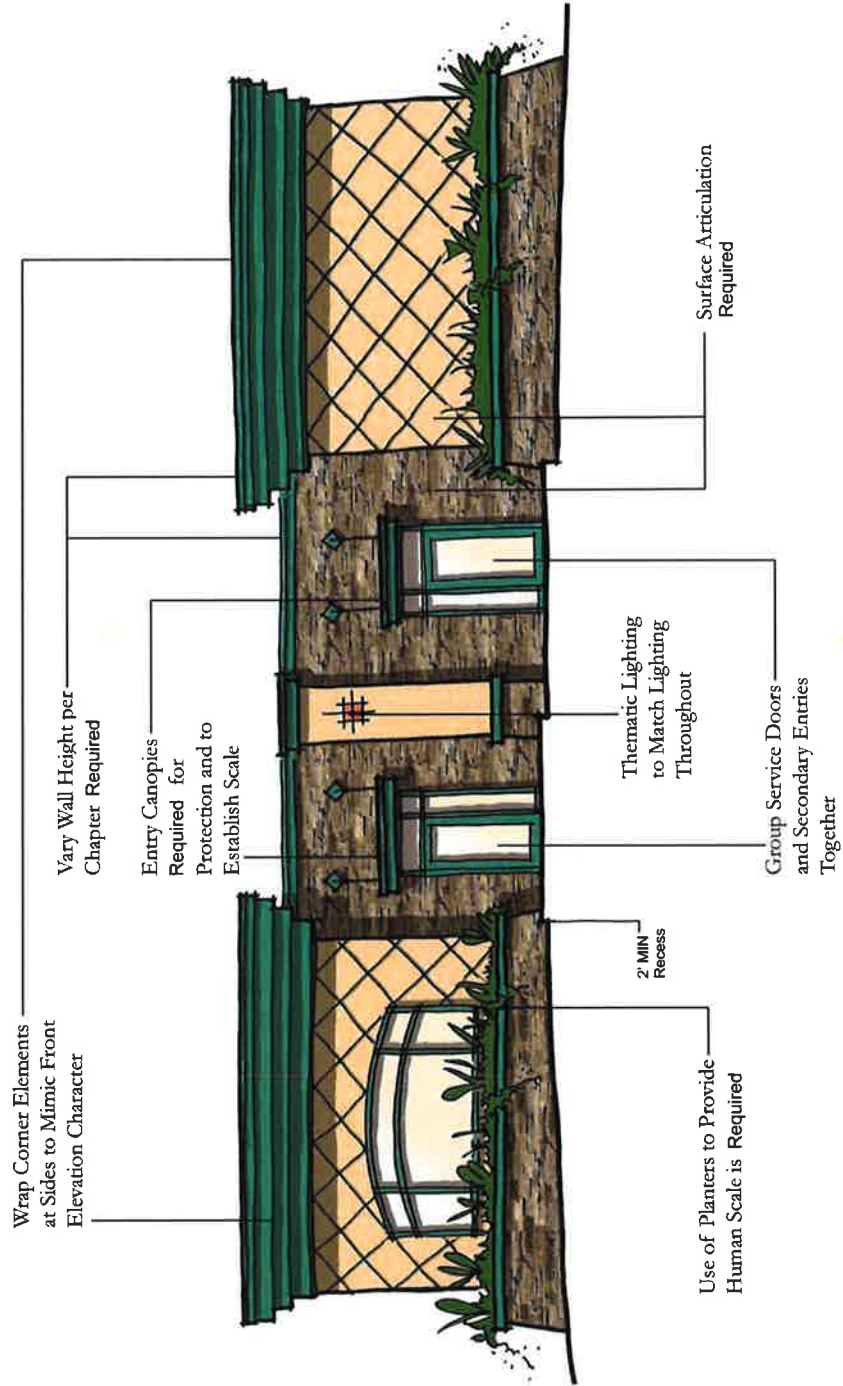
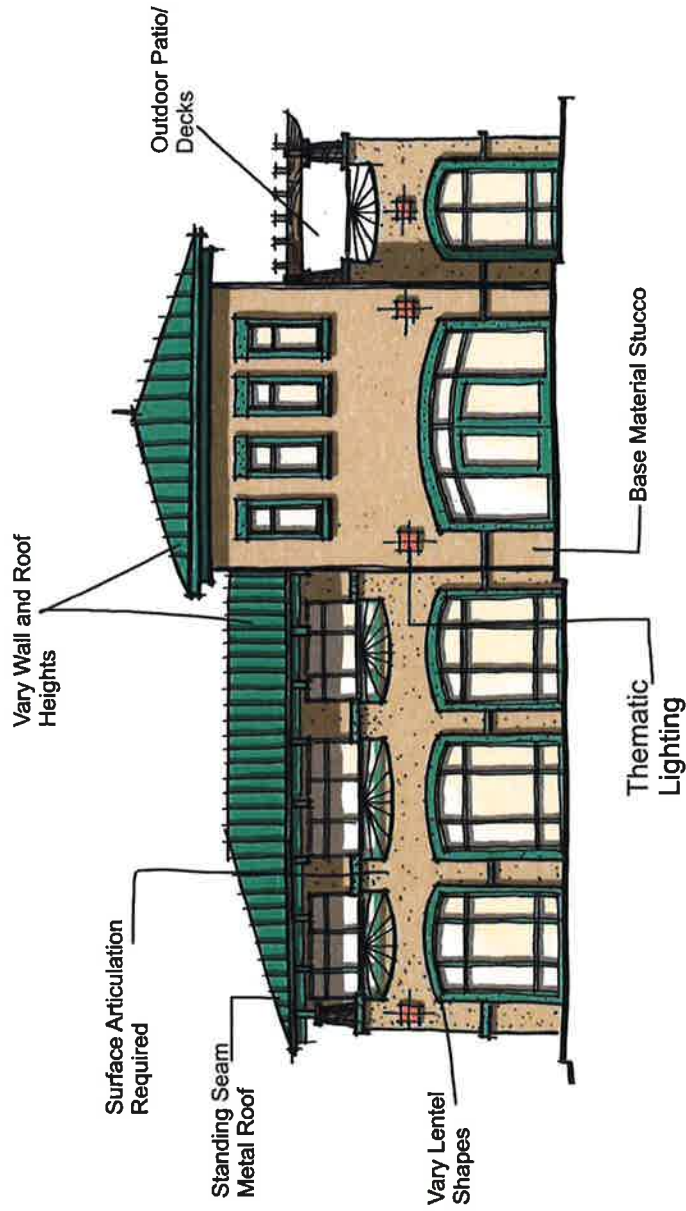


Exhibit 8-2
Side/Rear View Single-story Ancillary Business Concept

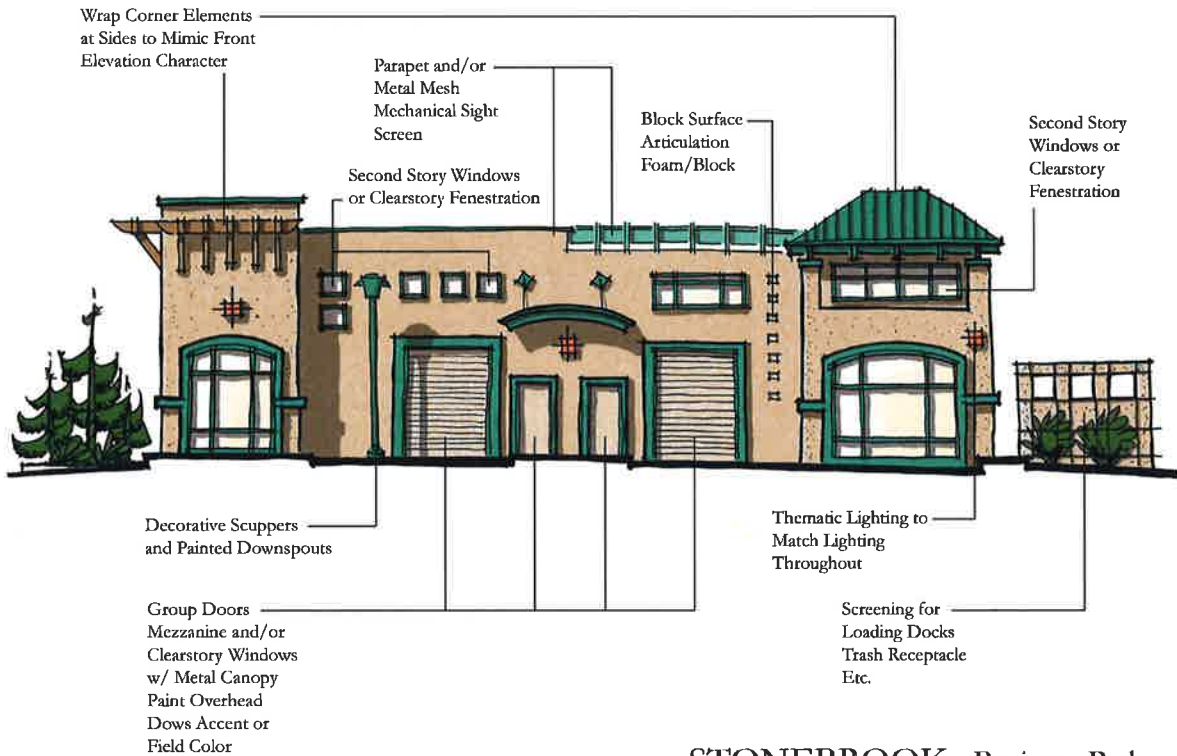


Side/Rear View (A) Single Story Ancillary Business



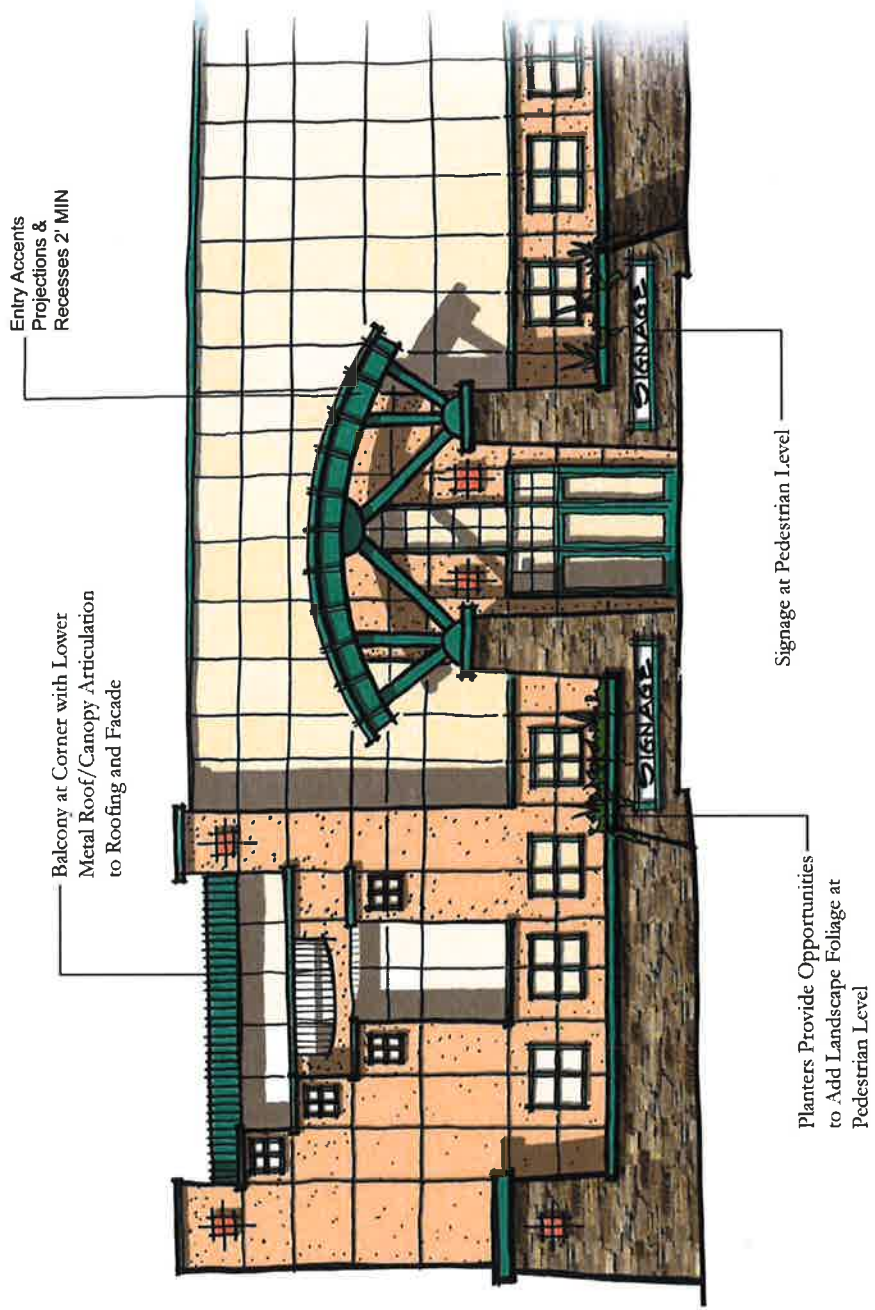
Front/Side

Exhibit 8-4
Professional Services & Businesses Side/Rear View Concept



STONEBROOK - Business Park -
Side/Rear View (B) Professional Services and Businesses

**Exhibit 8-5
Business Park Concept**



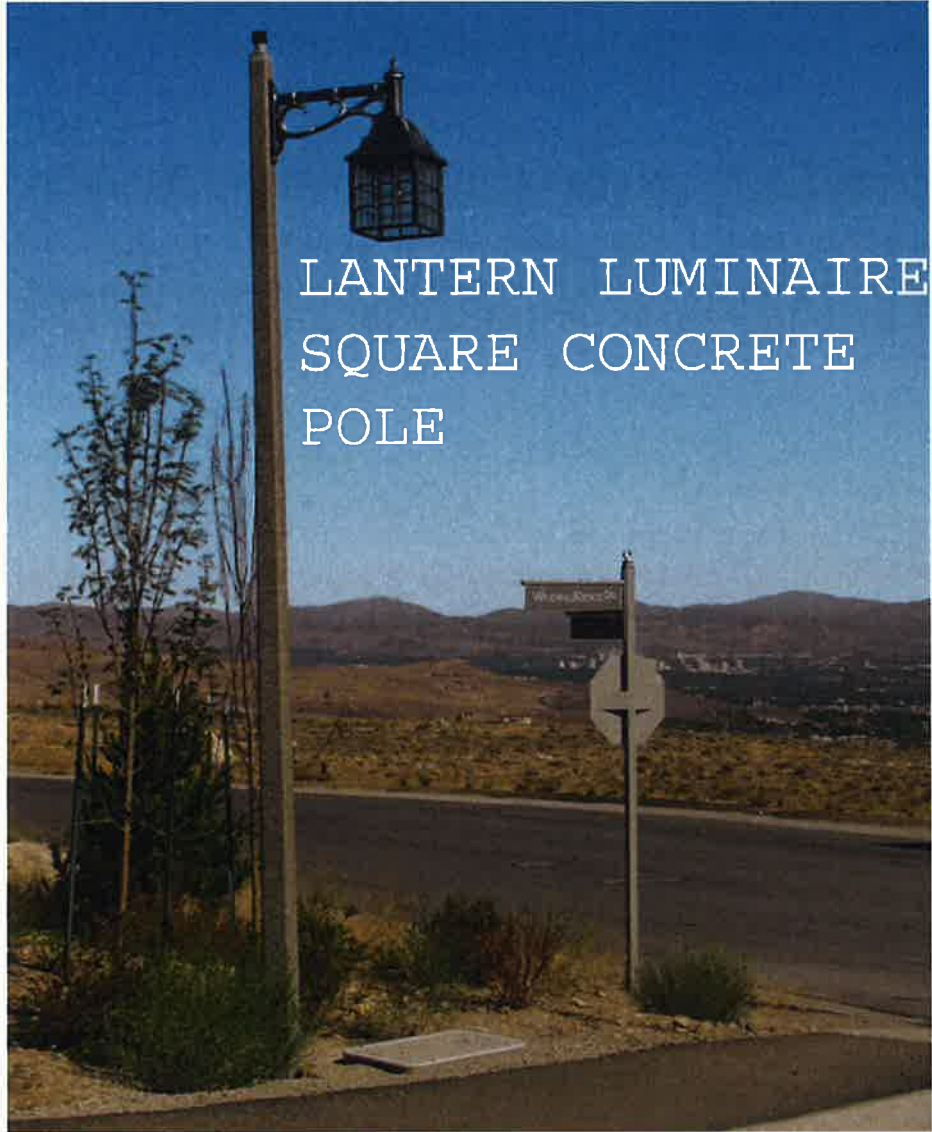
(C) Large Corporate Offices
Option (2) Characterization

CHAPTER 9 LIGHTING

9.1 Lighting Objective

- 9.1.1 In an effort to provide continuity and identity to Stonebrook, thematic concrete poles and light fixtures will be utilized throughout the entire roadway network thereby creating a design signature for Stonebrook. All Developers shall utilize this element in the design of their individual parcel street network as well. Fixtures and pole types shall be from an approved ~~Sierra Pacific Power Company (SPPCO)~~NV Energy assembly as selected by the SAC prior to the approval of the First Final Map and as approved by the ~~Director of Public Works~~City Engineer.
- 9.1.2 Prior to the approval of the first Final Map and or Building Permit, the developer may enter into a Lighting and Maintenance Agreement with the City of Sparks.
- 9.1.3 Parkway, collector and local street light pole heights shall be a maximum of 20'.
- 9.1.4 All roadway (infrastructure) lighting shall comply with City of Sparks and ~~Sierra Pacific Power Company~~NV Energy minimum standards.





LANTERN LUMINAIRE
SQUARE CONCRETE
POLE

CHAPTER 10 LANDSCAPE

10.1 Landscape Objective

- 10.1.1 The objective of the landscape architecture design criteria is to establish a pleasant and attractive landscape framework for the Stonebrook development. This framework will help provide design continuity and establish an identifiable visual character that enhances the community image and value of each parcel.
- 10.1.2 The overall landscape concept for the public areas is to use water conserving drought tolerant plants combined with accent plantings of turf and flowering beds along streets and public open spaces. The planting scheme shall be complemented by a series of attractive landscape elements including site furniture, pedestrian signage and boulder groupings.
- 10.1.3 A gradation of plant materials is planned, progressing from low-maintenance, water conserving plants or turf along public streets, to more concentrated planting schemes with lush plants that require more intensive maintenance near structures. Larger landscaped areas should be predominantly low-maintenance, drought-tolerant materials. High-maintenance materials such as turf shall be concentrated in areas where pedestrians will most frequently come into contact with them, such as building entrances and public plazas.
- 10.1.4 Locate plant material to ensure no visual encroachment into visibility triangle or safe traffic sight lines while maintaining visibility of signs. In addition, hazards to pedestrians or traffic created by plant litter, overhanging branches, thorns, etc. must be held to a minimum and shall maintain a minimum vertical clearance of 17' between the street surface and overhanging trees. All landscaping shall comply with AASHTO site distances and safety guidelines at street intersections.

10.2 General Landscape Area Specifications

- 10.2.1 All landscape design shall comply with the City of Sparks Landscape Code Chapter 20.3204.006, except where more stringent standards have been established herein.
- 10.2.2 Landscape improvement plans shall be submitted for review and approval as required by this Handbook and the City of Sparks.
- 10.2.3 The minimum portion of the site area to be landscaped shall be as defined in the Sparks Landscape Code Section 20.32.090 and shall be as follows except where more stringent standards have been established herein:

▪ General Commercial (GC)	15% *see note
▪ Business Park (BP)	25%
▪ Multi-Family (MDR)	20%
▪ Low Medium Density Residential (LMDR)	Full Front Yard Landscaping or per Chapter 5
▪ Single Family (LDR)	Full Front Yard Landscaping

*NOTE: (excluding public streetscape – Pyramid Highway, Dolores, Robert Banks, and Oppio Parkway)

- 10.2.4 The minimum number of trees to be planted in the required landscape area shall be as defined in the Sparks Landscape Code Section 20.32.090 as stated below except where more stringent standards have been established herein:
- General Commercial (GC) 1 Tree per 500 Square Feet
 - Business Park (BP) 1 Tree per 300 Square Feet
 - Multi Family (MDR) 1 Tree per 300 Square Feet
 - Low Medium Density Residential (LMDR) 2 Trees per Front Yard or per Chapter 5
 - Single Family (LDR) Two Trees per Front Yard
- 10.2.5 Unless otherwise stated, the minimum size of trees and shrubs within these standards are as follows:
- 2" caliper for deciduous trees and 8' minimum height evergreen trees,
 - Shrubs – 60% at time of planting shall be 5 gallon
40% at time of planting shall be 1 gallon
 - Ground Cover (other than turf) - (5) gallon for ornamental grasses, perennials and ornamental groundcovers specifically designed (grown for intermountain and high desert environments), 1 gallon for plants grown in flats.
- 10.2.6 The relationship of plant height, width and caliper to the container size shall meet the latest edition of the American Standard for Nursery Stock, released by the American Association of Nurserymen. All plant material shall be nursery grown, free of disease, of good habit and representing the best quality of their species.
- 10.2.7 All grass must be a drought tolerant fescue blend or hybridized blend developed for local use.
- 10.2.8 An approved 4" layer of bark mulch or decorative earth tone rock shall cover 100% of all required landscape areas except turf. Acceptable colors of earth tone rock shall be in hues of gray, tan/beige, or gray-greens complementary to the building architecture. No red, pink, or white rock shall be allowed. The use of unnatural colored gravel or synthetic turf is not permitted. Granite boulders and rock groupings are encouraged; boulders shall be buried at least thirty percent of their height to appear as natural rock outcroppings. Group boulders of various sizes together and utilize complementary plantings in and around boulders.
- 10.2.9 Accent lighting for landscape features, if desired, shall be provided by below grade up-lights and located so as not to shine in pedestrian or vehicular traffic.
- 10.2.10 Housings for below-grade-up-lights shall be flush mounted. These fixtures shall be round, 12" or less in diameter with a convex lens in irrigated areas. Flat lenses may be used in non-irrigated areas. Up-lights shall be cast bronze or have composite housings and bronze tops.
- 10.2.11 All up-lights shall be glare shielded.

10.3 Irrigation

10.3.1 The objective for irrigation design is to create water irrigation systems that are cost effective, durable, water efficient and low maintenance.

10.3.2 Automatic underground irrigation systems are required for all landscape areas including streetscapes and landscape enhanced areas of the open space. Specific irrigation design standards are as follows:

- Head to head coverage will be required in all lawn areas.
- All landscaped areas within Stonebrook shall have an automated irrigation control system that complies with the following standards. An electric, solid-state controller is required and shall be equipped with a master valve terminal and at least two fully independent programs. Individual programs shall have multiple start time capability and at least one program with 12-hour watering duration for any station for drip irrigation.
- All irrigated areas shall utilize remote electric control valves installed in valve boxes. No manual valve systems are allowed.
- Drip irrigation shall be installed for all plant material one-gallon size and larger, and ornamentals as recommended by grower specifications, within planting beds throughout the Stonebrook planned development, including planting beds located adjacent to trails, within streetscape areas and open space areas. Appropriate filtration and pressure regulating devices shall be installed. Low growing ground cover and annuals may receive pop-up spray irrigation. No fixed risers are allowed.
- Plants with similar watering requirements shall be grouped per watering zone to the extent possible.
- Paved surfaces eight feet or wider, including driveways within street landscape areas, shall be sleeved for pressure supply lines, non-pressure piping and control wires.
- Spray heads shall not throw water onto parking lots, fences, walls, sign faces, streets or sidewalks.
- All spray head systems shall be installed with a pressure regulator to provide consistency in watering patterns.
- An approved backflow prevention device is required on all landscape irrigation systems per Sparks Municipal Code and Washoe County District Health standards.

10.4 Landscape Along Roadways and Within Medians (Infrastructure Landscape, Arterials, including Pyramid Highway, Community Collectors)

10.4.1 Landscape plans shall be submitted as required by this Handbook with Tentative Map, ~~Site Plan~~ Administrative Review, Final Map, and Improvement Plans and reviewed and approved by the City of Sparks.

10.4.2 All landscape improvements along both sides of the roadways (infrastructure), shall be completed in conjunction with adjacent roadway construction and maintained by the Stonebrook Maintenance Association.

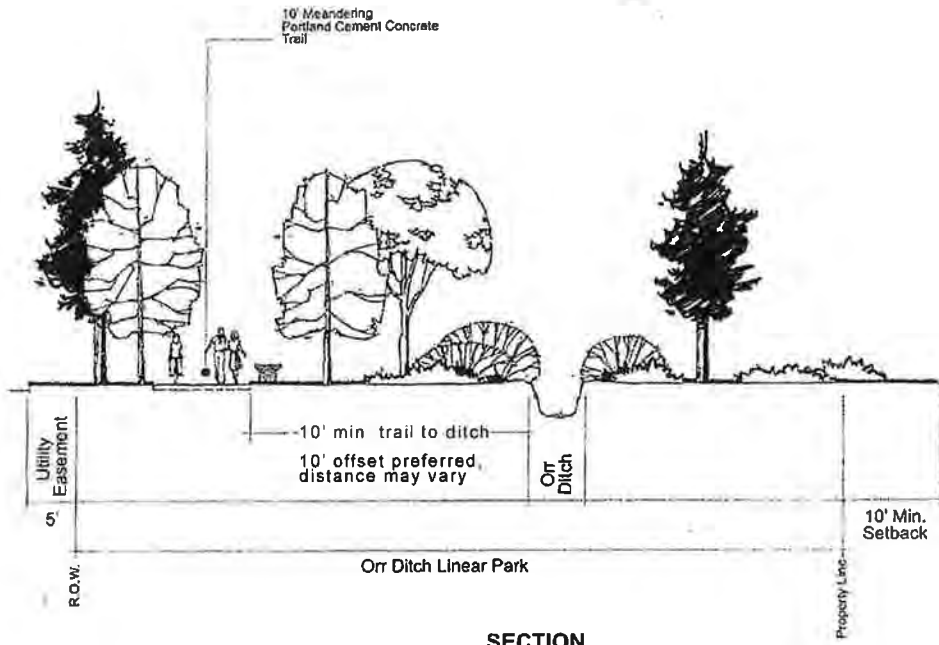
10.4.3 Streetscapes along Minor Arterials and Community Collectors shall be designed in character with the function of the roadway.

Streetscapes shall be provided on both sides of the roadway and shall contain a minimum of the following:

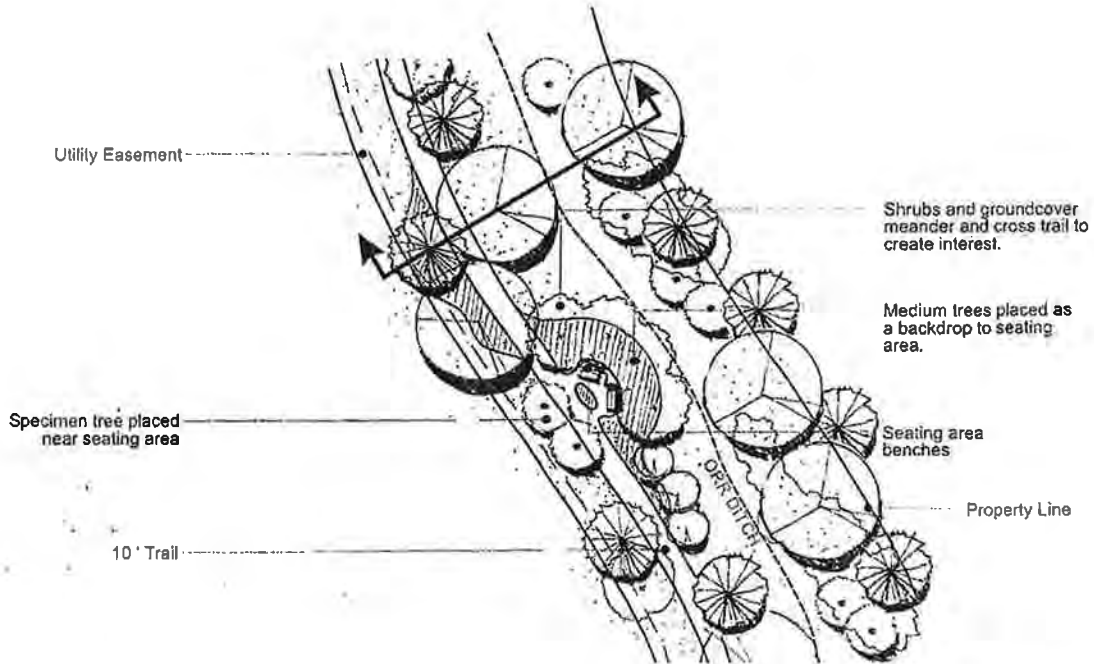
- One 3" caliper deciduous tree per 30' or 8' minimum height evergreen tree per 30 feet of roadway, per side, adjacent to the sidewalk in matching species. (Roadway medians shall not include evergreens but shall include one 2" columnar tree per 30' of medians.)
- Six 5-gallon shrubs per tree will be provided within the streetscape.
- Use of turf shall constitute a maximum of 30% of coverage of landscape area. No turf allowed in medians.
- Ground cover shall constitute the balance of the landscape area and be one gallon or flat size for ornamental grasses, perennials and ornamental groundcovers specifically designed and grown for intermountain and high desert environments shall be provided. Refer to **Exhibits 10-1 through 10-4**. Any mulch used shall be 4" minimum depth.

10.4.4 Landscape areas along roadways shall incorporate automatic irrigation systems. Systems shall be designed to provide complete coverage to all developed landscaped areas and conform to City of Sparks Landscape Code.

**Exhibit 10-1
Orr Ditch Residential Cross Section**



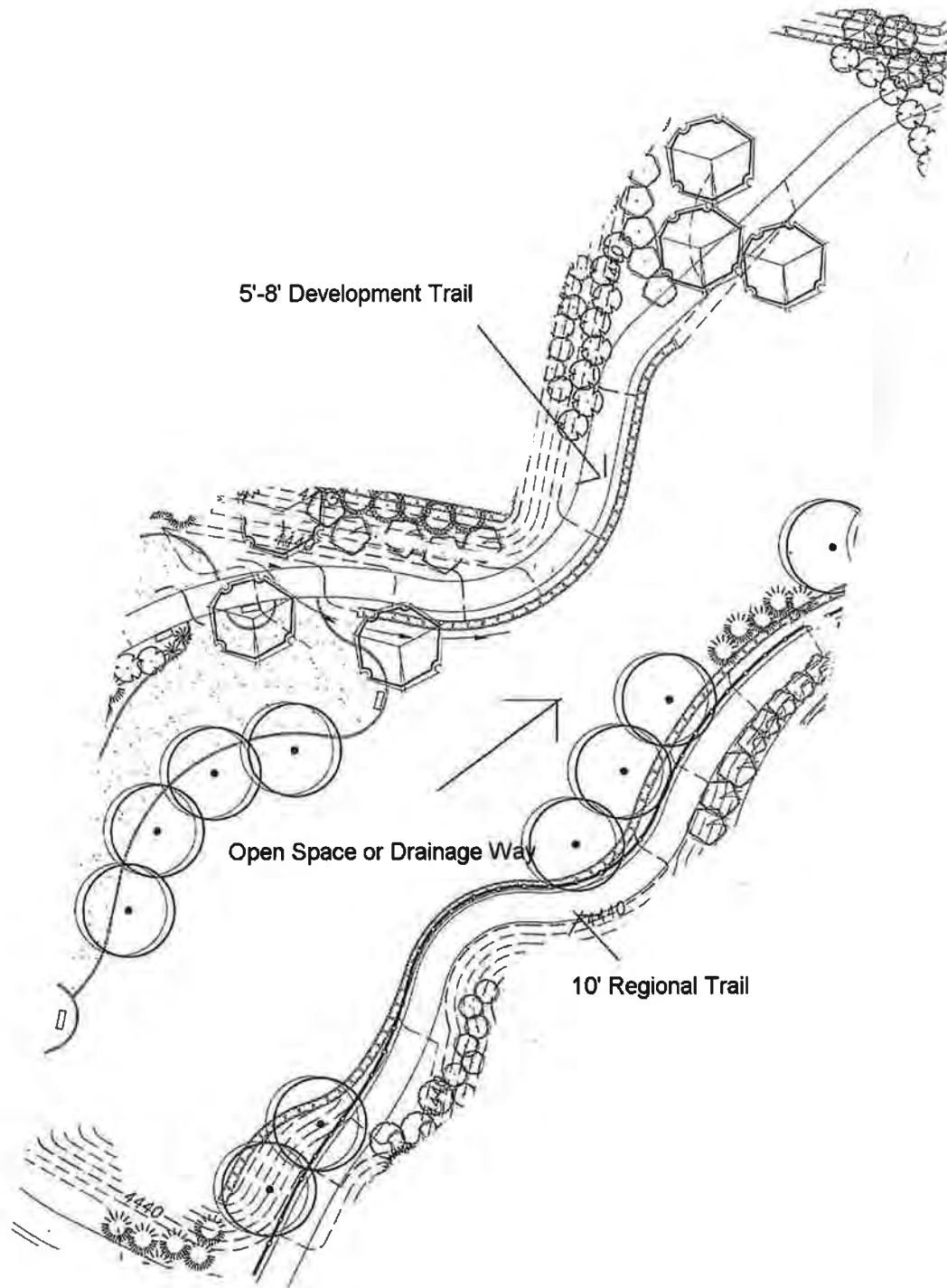
SECTION



PLAN

**Exhibit 10-2
Orr Ditch Residential Plan**

**Exhibit 10-3
Concept Trail at Drainageway**



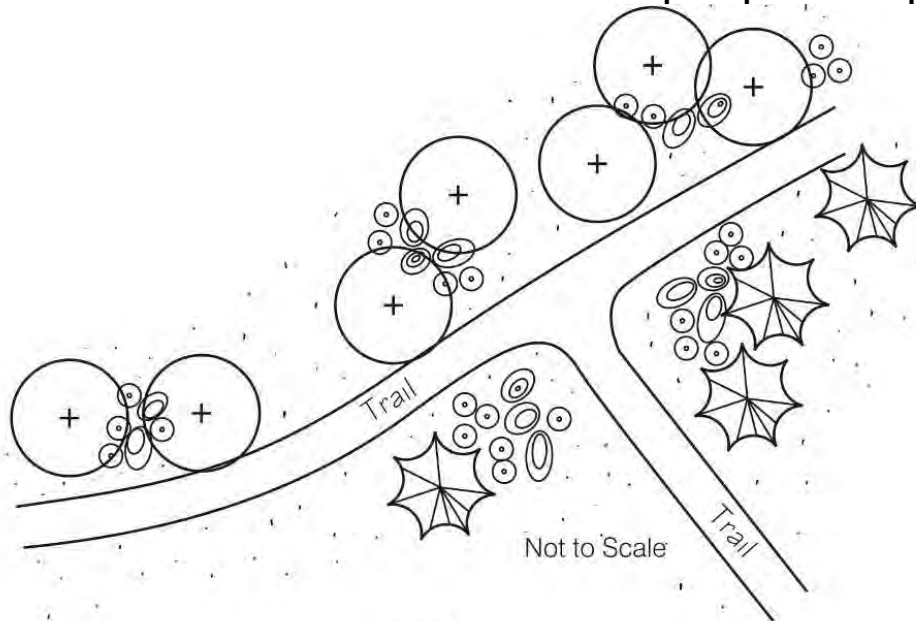
10.5 Landscape at Open Space Areas

- 10.5.1 Open spaces including flood control implements/channels shall utilize drought tolerant planting principles using a combination of plants, native and ornamental grasses, perennials and ornamental ground covers, which require minimal supplemental watering and provide seasonal interest and an abundance of color.
- 10.5.2 Open spaces utilizing flood control improvements/channels, are to be landscaped by the individual parcel developers to the following minimum standards with ongoing maintenance to be provided by the SMA: Refer to **Exhibit 10-4**.
- One 2" caliper deciduous tree or 8' minimum height evergreen tree per fifteen hundred (1,500) square feet of Open Space area clustering in logical manner around benches, trail crossings, etc.
 - 6 shrubs per tree.
 - Interspersed Rock/Boulder outcroppings complemented with ornamental grasses and native shrubs. Open space improvements will be constructed concurrent with the improvements within or adjacent to the phase of development in which it occurs. Regional trails and development pathways within or adjacent to the phase of development shall commence construction with that phase of development. Regional trails and/or development pathways within the non-residential land uses shall commence construction upon the issuance of the initial building permit within the phase in which it occurs. See phase plan in Chapter 1, **Exhibit 1-7**.

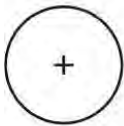
Refer to the following Open Space Exhibits:

- Conceptual Plan View of Open Space, **Exhibit 10-4**
 - Multi-Use Trail Cross Section at Open Space, **Exhibit 10-5**
 - Multi-Use Trail Cross Section at Orr Ditch, **Exhibit 10-6**
- 10.5.3 All Open Space improvements shall be completed by the individual parcel developer in conjunction with development of the phase in which the Open Space Area is sited and shall be maintained by the Stonebrook Maintenance Association. Regional trails and development pathways within a phase of development shall commence construction with that phase of development. Regional trails and/or development pathways within the non-residential land uses shall commence construction upon the issuance of the initial building permit within the phase in which it occurs. See phase plan in Chapter 1.

**Exhibit 10-4
Open Space Conceptual Plan View**



LEGEND



Deciduous Tree



Evergreen Tree



Shrubs

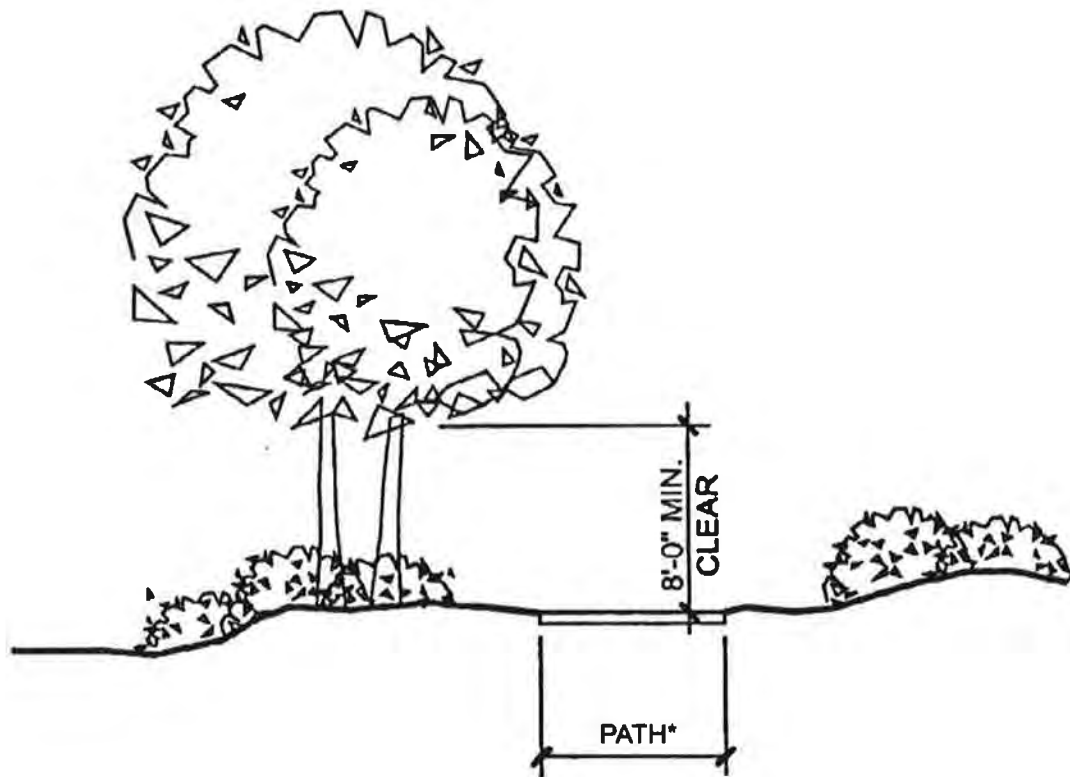


Boulder Grouping

NOTES:

1. Woody Plant material will be concentrated at trail intersections with other trails and road crossings.
2. Plant Material Provided
 - One-2" cal. Deciduous tree or one 6'-8' ht. Evergreen tree per 1500 S.F. Open Space. Trees grouped 2 to 4 together and spaced 30' to 50' apart dependent on species.
 - 6 Shrubs per 1500 S.F. Open Space.
 - Boulder Groupings
3. Ground plane plantings to be native grasses and shrub seed mix.
4. Benches installed approximately every 1/4 mile along regional trail if owned and maintained by HOA or SMA (Not City)

- ~~Temporary irrigation to be installed to establish native grass areas to the approval of the Parks and Recreation Director~~
- ~~The location and spacing of the open space seating areas along the trails shall be to the approval of the Parks and Recreation Director.~~
- ~~All plant material other than native grasses shall be irrigated with drip lines to the approval of the Parks and Recreation Director.~~
- All open space areas adjacent to the regional trail systems shall be maintained by the SMA. The regional trail shall be dedicated to the City and maintained by the Parks and Recreation Department.
- Any trees planted within 10 feet or less of City of Sparks trails shall have root barrier installed.



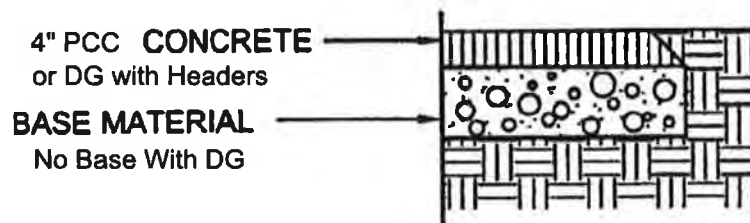
Regional Trail 10'

Surface Materials:

- 1) **Regional Trail to be constructed of PCC**
- 2) **6" PCC with Fibers for light truck traffic on 4" Type II Aggregate Base**
- 3) **6" PCC with Rebar for heavy truck traffic (i.e. – Vector Truck) on 4" Type II Aggregate Base**

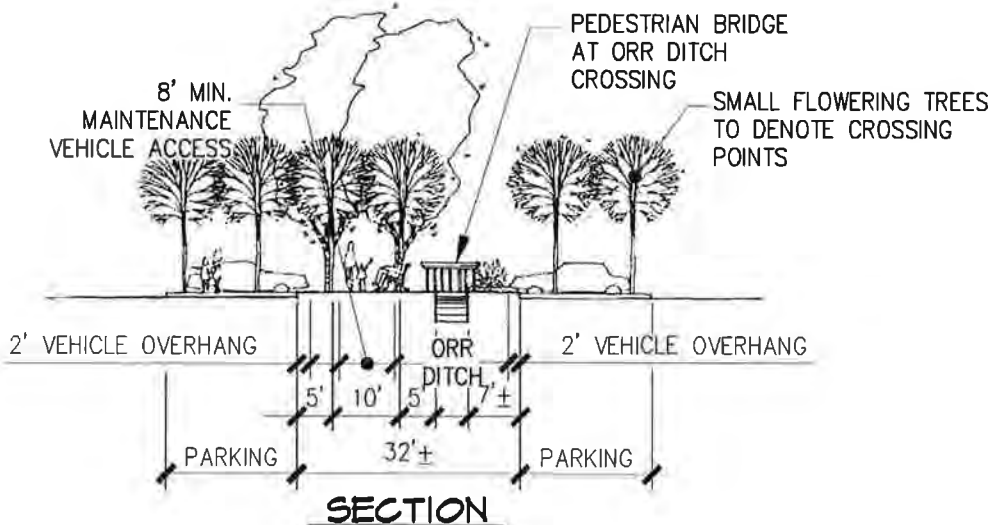
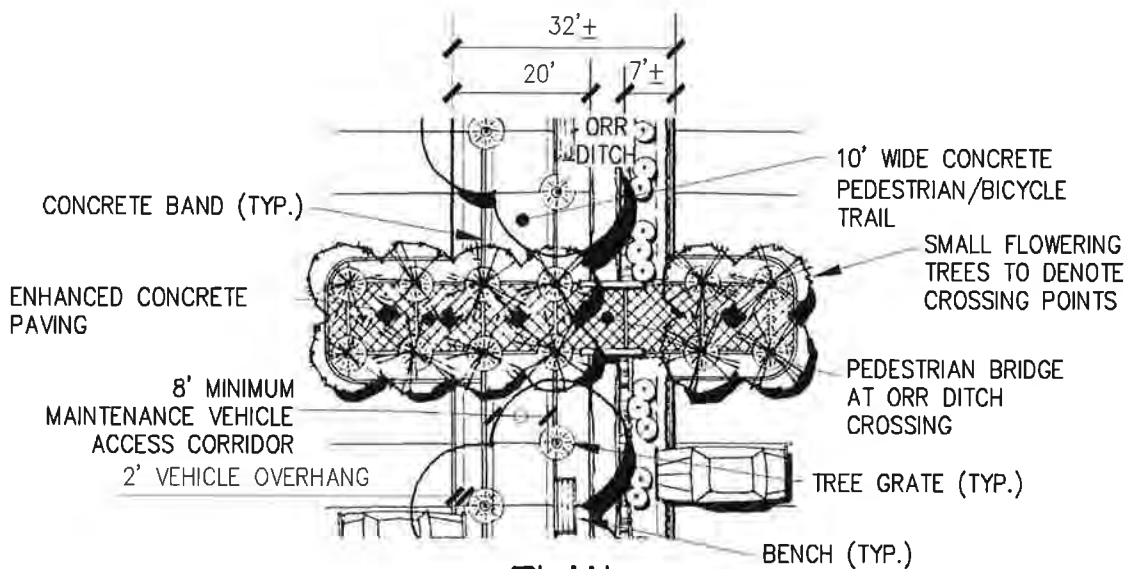
DEVELOPMENT PATHWAY SURFACE MATERIALS

DEVELOPMENT PATHWAY 5' CONCRETE, OR 8' DG WITH HEADERS



- *Pathway to be constructed of PCC or DG*
- *Random enhanced landscape areas with seating as approved by the Parks and Recreation Director.*

**Exhibit 10-6
Orr Ditch Trail Cross Section**



Adjacent to Commercial/Business Park Areas

10.6 Multi-Family Residential Landscape

- 10.6.1 All landscape design shall comply with those of the City of Sparks Landscape Code (Title 20.32) except where more stringent standards have been established herein or in individual parcel deed restrictions at the sole discretion of the developer.
- 10.6.2 The minimum portion of the site area to be landscaped shall be as follows:
- Multi-Family (MDR) 20%
- 10.6.3 All landscaping (including irrigation systems) shall be completed prior to the issuance of a final Certificate of Occupancy issued by the City of Sparks.
- 10.6.4 All landscaping shall be fully automatically irrigated, head to head coverage in turf areas and drip systems to trees, shrubs, grasses and ground cover areas. All irrigated areas shall utilize remote electric control valves installed in valve boxes, in order to affect a fully automatic system. No manual valves are allowed.
- 10.6.5 The irrigation system shall be designed to City of Sparks standards and provide for backflow prevention devices, etc. as required at the time of implementation.

10.7 Commercial Retail Landscape

- 10.7.1 General Landscape Areas are those outdoor spaces within a project site that are not specifically related to streets, driveways and parking lots. They include all setback areas, parcel entries, pedestrian plazas, landscape areas around buildings, landscaped open spaces, rear and side yard landscape areas and perimeter buffer areas.
- 10.7.2 All landscape design shall comply with those of the City of Sparks Landscape Code except where more stringent standards have been established herein.
- 10.7.3 The minimum portion of the site area to be landscaped shall be as follows:
- | | |
|-------------------------|-----|
| General Commercial (GC) | 15% |
|-------------------------|-----|
- NOTE: (excluding public streetscapes – Pyramid Highway, Dolores, Robert Banks, and Oppio Parkway)
- 10.7.4 Quantity of planting islands and medians within parking lots shall be per City of Sparks Code. Planting islands and medians within parking lots shall be planted with the following minimum quantities:
- Single stall size island (minimum width 9' from inside curb, length = to parking stall length): One (1) – 2" caliper deciduous or 8' evergreen tree; three (3) - 5-gallon medium shrubs; eight (8) - 1-gallon small shrubs or ground cover.
 - Double stall size island (minimum width 10' from inside curb, length = to the double-parking stall length): Two (2) - 2" caliper deciduous or 8' evergreen trees; six (6) - 5-gallon medium shrubs; sixteen (16) - 1-gallon small shrubs or ground cover.
- 10.7.5 Loading dock areas shall be screened with landscaping or walls from public thoroughfares to the satisfaction of the SAC and the Administrator.

10.8 Business Park Landscape

- 10.8.1 General Landscape Areas are those outdoor spaces within a project site that are not specifically related to streets, driveways and parking lots. They include all setback areas, parcel entries, pedestrian plazas, landscape areas around buildings, landscaped open spaces, rear and side yard landscape areas.
- 10.8.2 All landscape design shall comply with those of the City of Sparks Landscape Code except where more stringent standards have been established herein.
- 10.8.3 The minimum portion of the site area to be landscaped shall be as follows:
- Business Park (BP) 25%
- 10.8.4 Quantity of planting islands and medians within parking lots shall be per City of Sparks Code. Planting islands and medians within parking lots shall be planted with the following minimum quantities:
- Single stall size island (minimum width 9' from inside of curb, length = parking stall length): One (1) – 2" caliper deciduous or 8' evergreen tree 2"; three (3) - 5-gallon medium shrubs; eight (8) - 1-gallon small shrubs or ground cover.
 - Double stall size island (minimum width 10' from inside of curb, length = double parking stall length): Two (2) - 2" caliper deciduous or 8' evergreen trees; six (6) - 5-gallon medium shrubs; sixteen (16) - 1-gallon small shrubs or ground cover.
- 10.8.5 Loading dock areas shall be screened with landscaping on walls from public thoroughfares to the satisfaction of the SAC and Administrator.

CHAPTER 11 – WALLS AND FENCES

11.1 General Walls and Fences

- 11.1.1 To preserve the integrity and architectural continuity throughout Stonebrook, all walls and fences within Stonebrook have been pre-designed for applications as specific to use. All walls and fences are to be constructed according to the Exhibits contained in this Chapter.
- 11.1.2 Walls and fences shall conform to the standards specified herein and shall be submitted and approved by the SAC and the City as part of the conformance review process. The approved walls and fences plan shall accompany improvement plans when submitted. Walls and fences shall be constructed by the Individual Parcel Developers as each proposed development occurs.
- 11.1.3 All walls and fencing shall be in compliance with **Exhibit 11-1**, Master Wall and Fence Plan. **Exhibit 11-2**, Village Fence Type 1; **Exhibit 11-3**, Village Fence Type 2; Residential Fence for fencing details, **Exhibit 11-4**, Residential “Good Neighbor” Fence; **Exhibit 11-5**, Open Metal Fencing.
- 11.1.4 All walls and fences shall maintain a uniform top horizontal plane. Transitions to accommodate slopes and grade breaks shall be stepped.
- 11.1.65 In no instance shall walls or fences abut sidewalks; a 6’ minimum landscape strip shall be maintained.
- 11.1.76 All walls and fences shall also comply with AASHTO standards as applicable to maintain adequate sight distance requirements.
- 11.1.87 Wall and fence components shall be as follows:
- CMU Components: Fence Crete or Buehner Split Face Block and Cap #13 Tru-Lite or SAC Approved Equal and approved by Administrator.
 - Wood Components: Western Red Cedar.
 - Ornamental Metal: Ornamental metal color shall be “Patina Green” as approved by the SAC.
 - LedgeStone: Drystack ledgeStone, suede, or as approved by the SAC.
- 11.1.98 All wood fence components in all Villages within Stonebrook are to be stained as follows:
- Sherwin and Williams, Exterior Semi-Transparent Cuprinol Stain, Color “Cedar”, or SAC Approved Equal and approved by the Administrator.

11.2 Single Family Detached Residential: (LDR)

- 11.2.1 All fencing shall be in compliance with **Exhibit 11-1**, Master Wall and Fence Plan.
- 11.2.2 All side and rear yard fencing abutting public right-of-ways shall be Village Fence Type 2 (Exhibit 11-3), unless noted otherwise on Exhibit 11-1, Master Wall and Fence Plan. Side and rear yard fencing will be required for all adjoining residential lots within Stonebrook. See **Exhibit 11-4**, Residential “Good Neighbor” Fencing.
- 11.2.3 All fencing shall be installed prior to Certificate of Occupancy and must comply with the following:
- No front yard fencing of any kind will be allowed.

- “Good neighbor” principles shall be employed.
- Side yard fences facing streets shall be setback a minimum of 5 feet from property line and landscaped in conjunction with the front yard landscaping.
- No materials other than those depicted on the Fence Exhibit are permissible without prior written approval by the SAC.
- Stain color shall be as identified in Section 11.1.9 and will be consistent and uniform in all fencing application.
- Fences shall be a maximum of 6’ in height, excepting as necessary to accommodate grade changes.
- Fences shall be stepped rather than sloped to accommodate grade changes in excess of 6%.

11.3 Medium Density or Multi Family Residential (LMDR or MDR)

- 11.3.1 A wall and fencing plan shall be required for all proposed Low Medium Density (LMDR) and Multi-Family (MDR) projects within Stonebrook. All wall and fencing plans require SAC and Administrator approval and the approval of the appropriate public agencies, as applicable, prior to fabrication, construction and installation. Walls and fences shall be approved by the City as part of Site Plan Administrative Review or Tentative Map for the project development.
- 11.3.2 All fencing shall also be in compliance with **Exhibit 11-1**, Master Wall and Fence Plan, and in conformance with International Building Code and City of Sparks fencing requirements.
- 11.3.3 All proposed fencing shall be installed prior to Final Certificate of Occupancy.
- 11.3.4 Low Medium Density and Multi Family fencing facing Public Right of Ways at non- parking areas shall be per **Exhibit 11-2**, Village Fence Type 1. Multi Family fencing facing Public Right of Ways where parking occurs shall be per **Exhibit 11-2**, Village Fence Type 1 at Parking Areas.

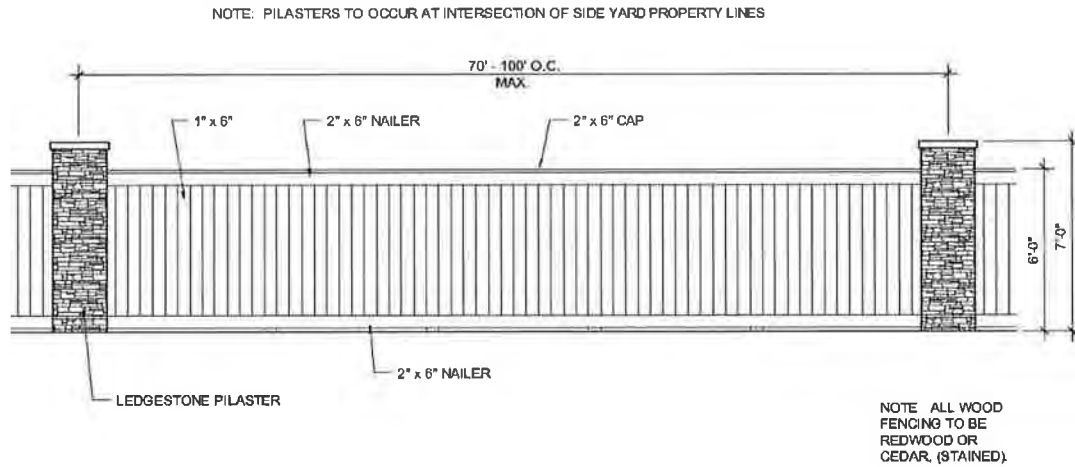
11.4 Commercial Retail/Business Park

- 11.4.1 A wall and fencing plan shall be required for all proposed Commercial Retail and Business Park projects when separating non-residential from residential uses or for screening purposes within Stonebrook. All wall and fencing plans require SAC and Administrator approval and the approval of the appropriate public agencies, as applicable, prior to fabrication, construction and installation. Walls and fences shall be approved by the City as part of Site Plan Administrative Review for the project development.
- 11.4.2 All fencing shall also be in compliance with **Exhibit 11-1**, Master Wall and Fence Plan.

Exhibit 11-1
Master Wall and Fence Plan

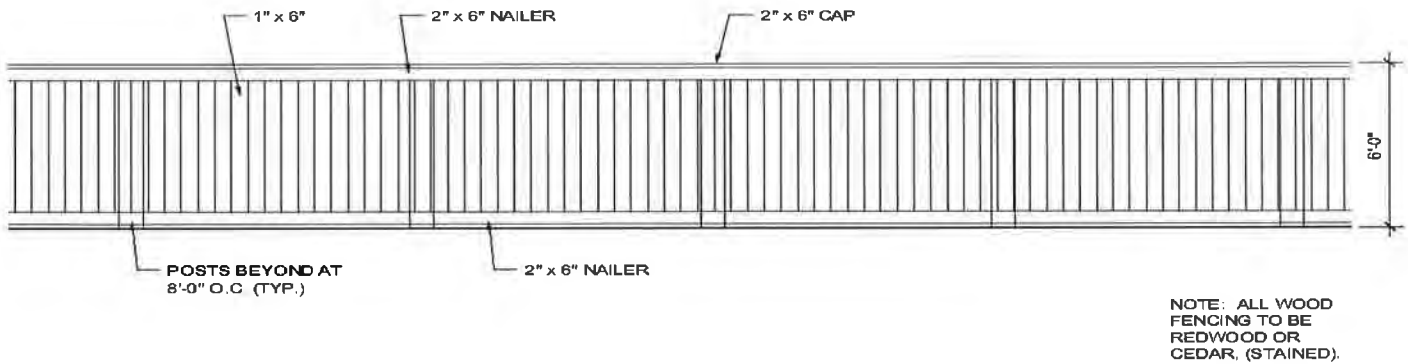


**Exhibit 11-2
Village Fence Type 1**



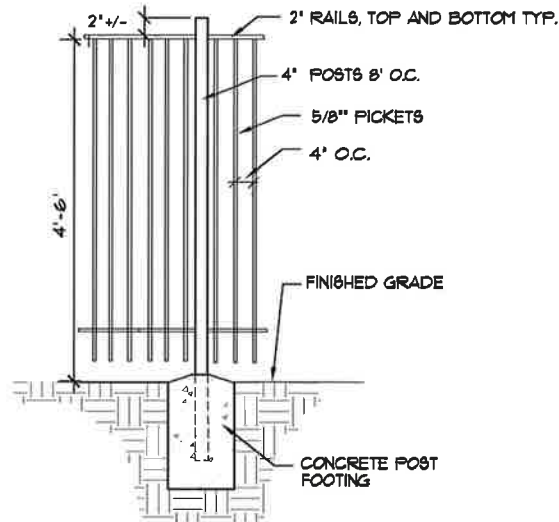
VILLAGE FENCE - TYPE 1

**Exhibit 11-3
Village Fence Type 2
Exhibit 11-4
Residential "Good Neighbor" Fence**



VILLAGE FENCE - TYPE 2

Exhibit 11-45
Open Metal Fencing
Optional adjacent to Open Space



OPEN METAL FENCE WITH METAL POSTS - 8' MAX. O.C.
2" x 2" RAILS , TOP AND BOTTOM
5/8" METAL PICKETS 4' O.C.
PAINTED - BLACK ENAMEL

CHAPTER 12 – MONUMENTS & SIGNS

12.1 Objective

12.1.1 The objective of this section is to establish monument and sign design standards that complement Stonebrook while providing clear and attractive identification.

12.1.2 All monuments and signs within Stonebrook shall comply with City of Sparks Code, Title 20.~~04.01056~~ except where more stringent standards have been established herein.

A comprehensive sign program shall be developed by each individual parcel developer for all proposed projects within Stonebrook. This shall be applied to temporary signs as well as permanent signs and monuments. All sign programs require SAC approval and the approval of the City of Sparks, as part of the appropriate Map for subdivisions or ~~Site Plan~~Administrative Review for development projects, as applicable, prior to fabrication, construction and installation. All signs shall comply with City of Sparks Sign Ordinance Title 20.~~56-04.010~~ and must receive applicable sign permits as issued by the City of Sparks Building Department.

12.1.3 Pursuant to City of Sparks Sign Ordinance Title 20.~~04.01056~~ land uses within Stonebrook shall be evaluated as follows:

- Medium Density Residential -Single Family Detached Residential R-4Single Family
- Low Medium Density Residential R-2Single Family
- Multi-Family Attached Residential R-3Multi-Family
- Commercial Retail C-2
- Business Park PO

12.1.4 Monuments and signs within each development shall be designed as part of an overall sign program with selected elements such as lighting, materials, colors, form, type style, and layout and location being addressed in a uniform and consistent manner.

12.1.5 Prohibited Sign Types and treatments within Stonebrook are as follows:

- Signs mounted on equipment screens
- Rooftop signs and signs projecting above roof lines or parapets
- Beacons, rotating or flashing signs
- Cabinet or box signs
- Pennants, banners, flags, inflatable displays, sandwich boards or signs on vehicles.

12.1.6 Pre-manufactured signs, such as franchise signs, that do not meet these criteria are subject to SAC and Administrator review and approval. All signs shall also be approved by the City of Sparks and shall comply with the Sign Ordinance Title 20.~~56~~04.010.

12.1.7 Window signs that are attached to the interior or exterior of any glazing, which are visible from the exterior of the building, require SAC review and approval prior to installation.

12.2 Sales and Directional Signs

12.2.1 Individual project developers may provide,(at their expense, within the individual tracts of Stonebrook), sales and directional signs indicating project identification and pertinent information to the project. All sales and directional signs require approval by the SAC and Administrator prior to fabrication, construction and installation, and must be addressed as

part of the comprehensive sign program. All sale and directional signs shall be located on private property and comply with City of Sparks [Sign Code](#).

12.2.2 All sales and directional signs shall be removed by the individual project developer when the model home complex sales office(s) are converted to a residential use.

12.3 Entry Monument and Individual Project Entries

12.3.1 Pre-designed entry monument features have been developed by Stonebrook to provide for a uniform streetscape concept throughout the community as well as providing clear and attractive identification and information to the residents and users. Refer to the following Exhibits:

- Major/Minor Entry Monuments **Exhibits 12-1 and 12-2**
- Village Entry Monument **Exhibit 12-3**

12.3.2 The major and minor entry monuments are located at key focal points throughout Stonebrook as indicated on Entry Monument Locations, **Exhibit 12-4**. No signs shall be located within the public ROW.

12.3.3 In addition to the major and minor monuments installed by the developer, individual projects within the development shall have its own entry monument identifying the Village. See Village Entry Monument **Exhibit 12-3**. These features shall be the responsibility of the individual parcel developers.

12.3.4 All major/minor entry monumentation shall be illuminated utilizing up-lighting techniques.

Exhibit 12-1
Major/Minor Entry Monument Elevation

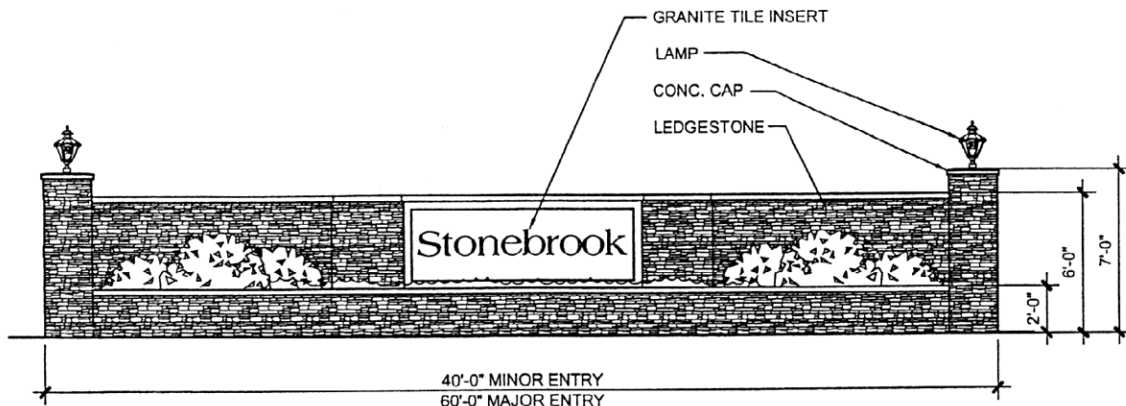
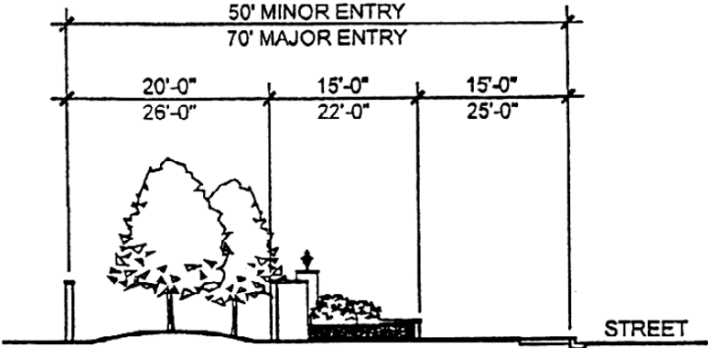


Exhibit 12-2
Major/Minor Entry Monuments
Plan View and Section



SECTION A-A

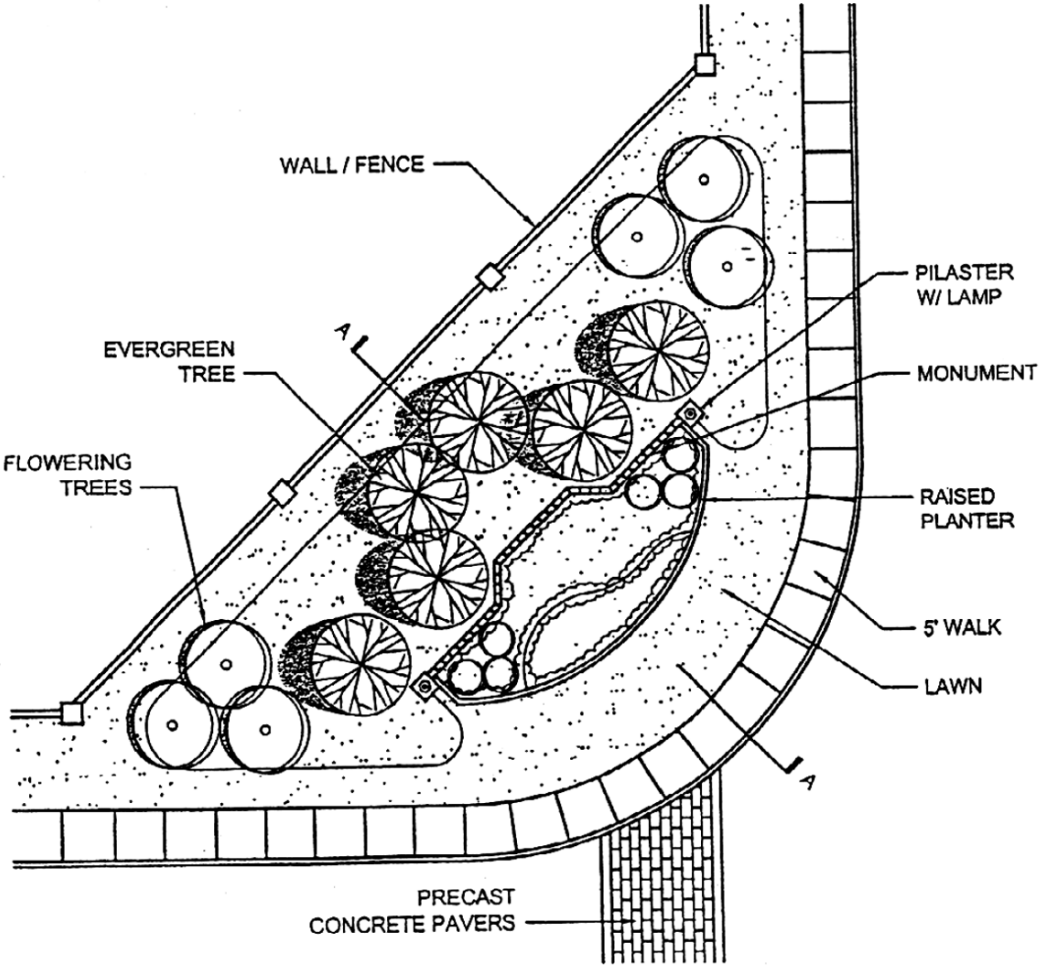
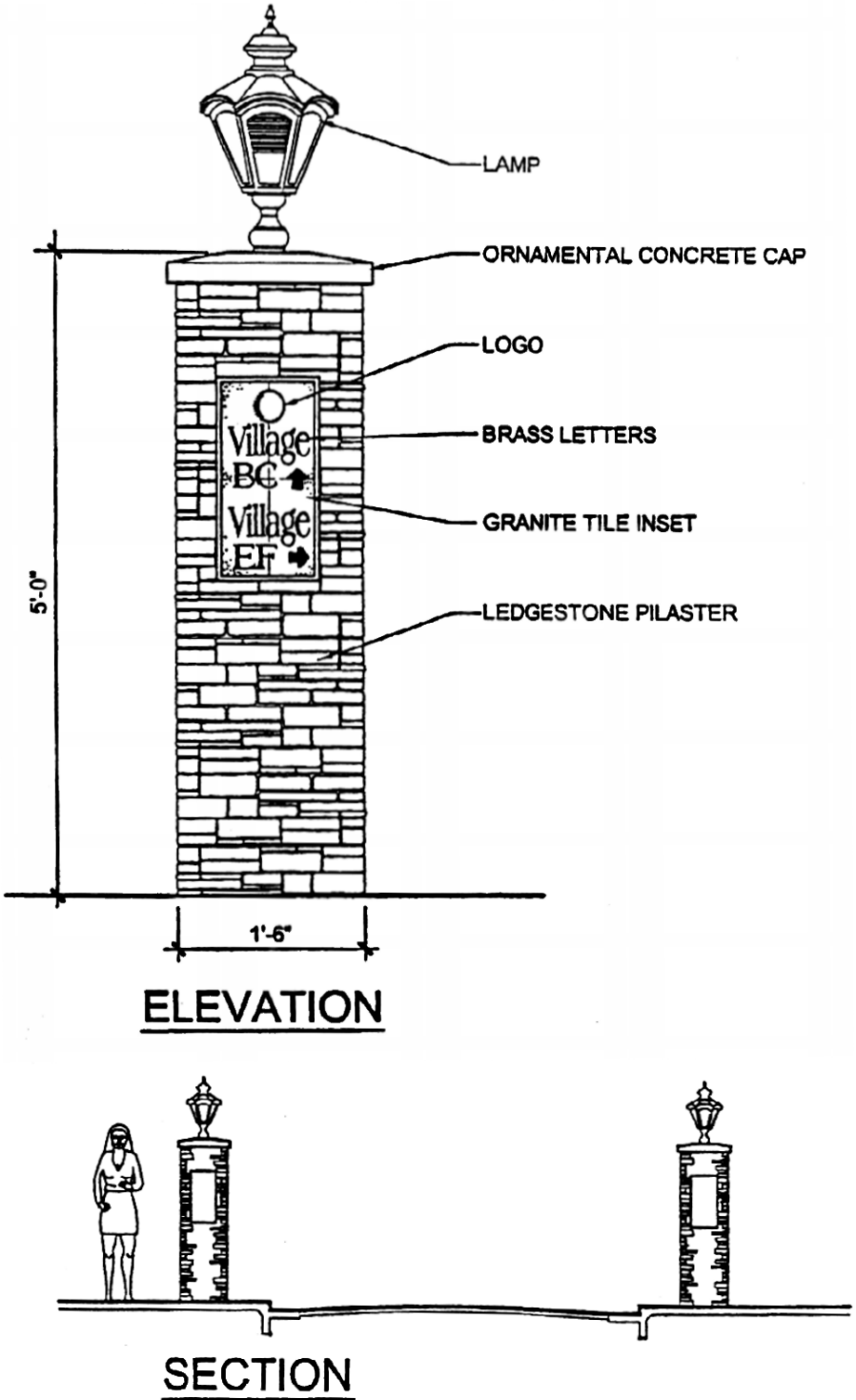


Exhibit 12-3
Village Entry Monument



**Exhibit 12-4
Entry Monument Locations**



12.4 Regulatory Signs

- 12.4.1 All regulatory signs shall be in conformance with the Manual on Uniform Traffic Control Devices.

12.5 Commercial Retail Signs

- 12.5.1 A comprehensive sign program shall be developed for all proposed Commercial and Retail projects within Stonebrook. This program shall thoroughly address all proposed signage applications. All commercial/retail signs shall comply with the City of Sparks Sign Ordinance Title 20.~~04.01056~~.
- 12.5.2 All signage packages require approval by the SAC and the City of Sparks as part of the ~~Site Plan~~Administrative Review for each development, as applicable, prior to fabrication, construction and installation. All signs shall require review and approval through the City sign permit process.
- 12.5.3 All building mounted signs shall be constructed of individual letters. No boxes or cabinets are permitted.
- 12.5.4 Acceptable forms of signage illumination are ambient (surrounding on all sides), Halo, Silhouette or Backlit treatments, or Internally illuminated individual letters
- 12.5.5 Proposed colors should provide accent and interest appropriate to the associated use of which they are apart. Sign colors will be reviewed and regulated by the SAC and Administrator.

12.6 Business Park Signs

- 12.6.1 A comprehensive sign program shall be developed with the first ~~Site Plan~~Administrative Review by each individual parcel developer for all proposed Business Park projects within Stonebrook. This program shall thoroughly address all proposed sign applications. All business park signs shall comply with the City of Sparks Sign Ordinance Title 20.~~04.01056~~.
- 12.6.2 All sign packages require approval by the SAC and the City of Sparks as part of the ~~Site Plan~~Administrative Review for each project, as applicable, prior to fabrication, construction and installation. All signs shall require review and approval through the City sign permit process.
- 12.6.3 All building mounted signs shall be constructed of individual letters. No boxes or cabinets are permitted.
- 12.6.4 Acceptable forms of signage illumination are ambient (surrounding on all sides), Halo, Silhouette or Backlit treatments, or internally illuminated individual letters
- 12.6.5 Proposed colors shall provide accent and interest appropriate to the associated use of which they are apart. Sign colors will be reviewed and regulated by the SAC and Administrator.
- 12.6.6 Signs shall be monument type only and a maximum height of 8' tall. There shall be only one sign over public access per business. A directory for each building listing all building tenants may be placed in the front of each building.